

**Greater Geelong Planning Scheme Amendment C432ggee
South Geelong Urban Design Framework**

Panel Report

Planning and Environment Act 1987

15 January 2025

How will this report be used?

This is a brief description of how this report will be used for the benefit of people unfamiliar with the planning system. If you have concerns about a specific issue you should seek independent advice.

The planning authority must consider this report before deciding whether to adopt the Amendment.

[section 27(1) of the *Planning and Environment Act 1987* (the PE Act)]

For the Amendment to proceed, it must be adopted by the planning authority and then sent to the Minister for Planning for approval.

The planning authority is not obliged to follow the recommendations of the Panel, but it must give its reasons if it does not follow the recommendations. [section 31 (1) of the PE Act, and section 9 of the *Planning and Environment Regulations 2015*]

If approved by the Minister for Planning a formal change will be made to the planning scheme. Notice of approval of the Amendment will be published in the Government Gazette. [section 37 of the PE Act]

Planning Panels Victoria acknowledges the Wurundjeri Woi Wurrung People as the traditional custodians of the land on which our office is located. We pay our respects to their Elders past and present.

Planning and Environment Act 1987

Panel Report pursuant to section 25 of the PE Act

Greater Geelong Planning Scheme Amendment C432ggee

South Geelong Urban Design Framework

15 January 2025



Michael Ballock, Chair



Dr Gregoria Todaro, Member

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Glossary and abbreviations

C2Z	Commercial Zone Schedule 2
Capacity Review	South Geelong Capacity and Change Areas Review 2022
Council	Greater Geelong City Council
DDO50	Design and Development Overlay Schedule 50
DDO54	Design and Development Overlay Schedule 54
EAO	Environmental Audit Overlay
EPA	Environmental Protection Authority
GRZ	General Residential Zone
GRZ1	General Residential Zone Schedule 1
GRZ5	General Residential Zone Schedule 5
Heritage Review	South Geelong UDF Heritage Review, November 2023
MUZ	Mixed Use Zone
NRZ	Neighbourhood Residential Zone
NRZ8	Neighbourhood Residential Zone Schedule 8
PAO	Public Acquisition Overlay

PAO4	Public Acquisition Overlay Schedule 4
Planning Scheme	Greater Geelong Planning Scheme
PPN01	Planning Practice Note 01: Applying the Heritage Overlay
PPN30	Planning Practice Note 30: Potentially contaminated land
RGZ	Residential Growth Zone
RGZ4	Residential Growth Zone Schedule 4
SGUDF	South Geelong Urban Design Framework September 2022

Overview

Amendment summary

The Amendment	Greater Geelong Planning Scheme Amendment C432ggee
Common name	South Geelong Urban Design Framework
Brief description	The Amendment proposes to implement the South Geelong Urban Design Framework into the Greater Geelong Planning Scheme by introducing new planning policy, rezoning land to apply new Residential Zone Schedules and the Mixed Use Zone and applying the Design and Development Overlay, Heritage Overlay, Public Acquisition Overlay and Environmental Audit Overlay to nominated properties
Subject land	Land in South Geelong as shown in Figure 1
The Proponent	City of Greater Geelong
Planning Authority	City of Greater Geelong
Authorisation	13 March 2024, with conditions
Exhibition	11 April to 13 May 2024
Submissions	Number of Submissions: 51 Opposed: 34 Refer to Appendix A

Panel process

The Panel	Michael Ballock (Chair), Dr Gregoria Todaro
Supported by	Gabrielle Trowse, Planning Panels Victoria
Directions Hearing	By video, 3 October 2024
Panel Hearing	Wurriki Nyal, 137-149 Mercer Street, Geelong, 12 and 13 November 2024
Site inspections	Unaccompanied, 31 October 2024
Parties to the Hearing	Refer to Appendix B
Citation	Greater Geelong PSA C432ggee [2025] PPV
Date of this report	15 January 2025

Executive summary

Greater Geelong Planning Scheme Amendment C432ggee (the Amendment) seeks to implement the South Geelong Urban Design Framework (SGUDF) into the Greater Geelong Planning Scheme (Planning Scheme) by introducing new planning policy, rezoning land to new residential zones and the Mixed Use Zone (MUZ) and applying the Design and Development Overlay (DDO), Heritage Overlay, Public Acquisition Overlay (PAO) and Environmental Audit Overlay (EAO) to nominated properties.

The Amendment proposes significant changes to the Planning Scheme as it applies to South Geelong and it attracted just over 50 submissions on a variety of matters. Key issues raised in submissions included:

- Proposed changes to Planning Policy in Clause 11.03-6L-05.
- The application of proposed Public Acquisition Overlay Schedule 4 (PAO4) to the rear of properties fronting Moorabool Street to facilitate the widening of Lambs Place.
- The application of the Heritage Overlay.
- The proposed rezoning of residential land to the General Residential Zone Schedule 5 (GRZ5) or Residential Growth Zone Schedule 4 (RGZ4).
- Requested changes to the proposed Design and Development Overlay Schedule 50 (DDO50) and Design and Development Overlay Schedule 54 (DDO54) for key land parcels.
- Requested changes to the SGUDF.

While there were a large number of submissions only three submitters to the Amendment made submissions to the Panel. The Panel notes that post exhibition, Council engaged with submitters in an attempt to resolve concerns expressed in submissions. This approach managed to resolve some, but not all, concerns. The Panel is satisfied that the SGUDF has been through an extensive community engagement program and provides the appropriate strategic justification for the Amendment. In reaching its conclusion the Panel has considered the submissions made to the Amendment, the Council's response and its post exhibition changes.

The Panel concludes:

- The Amendment is supported by, and implements, the relevant sections of the Planning Policy Framework and strategically justified and should proceed subject to the changes identified by Council and recommended by the Panel.
- The South Geelong Urban Design Framework is well founded as a basis for the Amendment and is an appropriate background document.
- The application of the Heritage Overlay (HO1641) is appropriate subject to the deletion of 263 Yarra Street South Geelong, 262 and 264 Bellerine Street South Geelong.
- The post exhibition changes to the Statements of Significance proposed by Council are appropriate and supported by the Panel.
- The proposed DDO50 and DDO54 controls are appropriate and supported by the Panel.
- The post exhibition changes to DDO50 and DDO54 proposed by Council are appropriate and supported by the Panel.

Recommendations

Based on the reasons set out in this report, the Panel recommends that Greater Geelong Planning Scheme Amendment C432ggee be adopted as exhibited subject to the following:

1. Amend the South Geelong Urban Design Framework to:
 - a) correct the study area boundary in Figure 11
 - b) remove the duplicated reference to 'Development Feasibility Study – Barwon Water site' in line one
 - c) correct the title of Figure 42 so that it relates to the sustainable change area
 - d) amend the Station Hub Staging Plan – Key item 5 'Verner Street and Bellerine Street public realm upgrades by State Government of Victoria' text to include "subject to future funding approval"
 - e) remove the irrelevant second sentence of the Concept Plan for Station Precinct – Item 7
 - f) correct the boundary description of the study area consistent with the descriptive dot points on page 9.
2. Replace Clause 11.03 with the Panel preferred version in Appendix E.
3. Delete the application of Public Acquisition Overlay 4 (PAO4).
4. Amend the Statements of Significance for the three individual significant properties (HO2023, HO2024, HO2025) and the Statements of Significance and Heritage Design Guidelines for the City South Heritage Area to amend the 'Primary sources' as follows:
 - a) add 'City of Greater Geelong, South Geelong UDF Heritage Review, (City of Greater Geelong 2023)'
 - b) add 'Bantow, J., Stage 3 Submission, South Geelong Interim Final Urban Design Framework, 10 April 2022'
 - c) delete 'Ecology & Heritage Partners Pty Ltd, *South Geelong Heritage Precinct HO1641, Peer Review, August 2022*'
 - d) delete 'South Geelong Urban Design Framework - Heritage Character Study (Authentic Heritage Services, June 2020)'
 - e) delete South Geelong Urban Design Framework - Proposed Revision to HO1641 City South Heritage Area (City of Greater Geelong, October 2021).
5. Delete the application of the Heritage Overlay (HO1641) to 263 Yarra Street South Geelong, 262 Bellerine Street South Geelong and 264 Bellerine Street South Geelong.
6. Amend Clause 2.0 of the Residential Growth Zone Schedule 4 to replace the text of the minimum street setback requirement with the following:
 - a) Setback a minimum of 6m to Latrobe Terrace and 3m to all other streets.
7. Replace the Design and Development Overlay Schedule 50 with the Panel preferred version in Appendix F.
8. Replace the Design and Development Overlay Schedule 54 with the Panel preferred version in Appendix G.

1 Introduction

1.1 The Amendment

The purpose of the Amendment is to implement the South Geelong Urban Design Framework (SGUDF) into the Greater Geelong Planning Scheme (Planning Scheme) by introducing new planning policy, rezoning land to new residential zones and the Mixed Use Zone (MUZ) and applying the Design and Development, Heritage Overlay, Public Acquisition Overlay and Environment Audit Overlay to nominated properties within South Geelong.

The Amendment prepared by the Greater Geelong City Council (Council) applies to land in South Geelong shown in Figure 1 bounded by Latrobe Terrace to the west, Fyans Street to the south, Garden Street to the east and McKillop Street to the north.

Figure 1 South Geelong Urban Design Framework area



Specifically, the Amendment proposes to:

Policy changes:

- Insert Clause 11.03-6L-05 (South Geelong) to implement objectives and strategies for South Geelong and the Key Development Areas identified in the SGUDF.
- Amend Clause 16.01-1L-01 (Integrated housing and housing diversity) to insert the 'South Geelong Key Development Area Map' to identify Moorabool Street and Station Hub as Key Development Areas.
- Amend Clause 16.01-1L-02 (Increased Housing Diversity Areas) to remove 'Station' from 'South Geelong Station' in the policy application, add the SGUDF as a relevant policy

document and replace the South Geelong Station Increased Housing Diversity Areas Map with a revised map.

- Insert Clause 16.01-2L (Social and affordable housing) into the Greater Geelong Planning Scheme to facilitate the delivery of affordable housing in line with State and Regional Policy.

Zone changes:

- Rezone the following land to the MUZ:
 - land in Moorabool Street between Carr Street and Fyans Street, including rear laneways currently zoned Commercial 2 Zone (C2Z)
 - 40-44 Lonsdale Street (existing Barwon Water site), 146 Swanston Street, 51 Carr Street, 223 Yarra Street and a portion of the Carr Street Road reserve currently within the Public Use Zone 1 (PUZ1) and General Residential Zone Schedule 1 (GRZ1).
- Insert and apply a new:
 - Residential Growth Zone Schedule 4 (RGZ4)
 - General Residential Zone Schedule (GRZ5)
- Rezone land identified in the SGUDF as:
 - 'Incremental Change Area' and 'Minimal Change Area' from GRZ1 and Neighbourhood Residential Zone Schedule 8 (NRZ8) to GRZ5.
 - 'Substantial Change Area' identified from General Residential Zone Schedules 1 and 4 to RGZ4.

Overlay changes:

- Apply the Heritage Overlay to three individual places – property address (HO2023), property address (HO2024) and property address (HO2025)
- Amend the City South Heritage Area (HO1641) and insert places where prohibited uses are permitted:
 - remove its application to eight properties that lack any defining heritage attributes or having the Heritage Overlay applied incorrectly
 - apply it to an additional 193 properties in the City South Heritage Area.
- Remove the Heritage Overlay (HO999) from 315-323 Latrobe Terrace.
- Apply the Heritage Overlay (HO1029, HO1161, HO1199, HO1644) to selected properties to correct mapping anomalies.
- Apply a new Design and Development Overlay Schedule 50 (DDO50) to 40-44 Lonsdale Street (Existing Barwon Water site), 146 Swanston Street, 51 Carr Street and a portion of the Carr Street Road reserve.
- Apply a new Design and Development Overlay Schedule 54 (DDO54) applying to land along Moorabool Street, including rear laneways.
- Apply PAO4 to the rear of the properties fronting Moorabool Street to facilitate the widening of the existing rear laneway to cater for deliveries and vehicle parking and movement.
- Apply the EAO to potentially contaminated land along Moorabool Street and 40-44 Lonsdale Street, Geelong.

Incorporated and Background document changes:

- Replace *HO1641 City South Residential Heritage Area Heritage Design Guidelines (2022)* with the *City South Heritage Area Heritage Design Guidelines (July 2023)*

- Replace *HO1641 City South Residential Heritage Area Statement of Significance (2022)* with a revised *City South Heritage Area Statement of Significance (August 2023)*
- Insert Statements of Significance for heritage places HO2023, HO2024 and HO2025.
- Amend the Schedule to Clause 72.08 Background Documents to insert the SGUDF as a Background Document.

1.2 Background

Council informed the Panel that Barwon Water approached it between 2017 and 2019 with an application to rezone and subdivide surplus land at 40-44 Lonsdale Street, Geelong. That land holding is approximately 1.2 hectares in size and operated primarily as an office, depot storage and maintenance yards. The site has now been cleared. Several petrol tanks were present and triggered the need for an environmental audit. Preliminary discussions about the future development of the land were held between the then Department of Environment, Land, Water and Planning (now Department of Transport and Planning), Barwon Water, Council, Regional Development Victoria and Public Transport Victoria.

Due to the Barwon Water site's location, size and ownership, it was identified as having the potential to be a "Key Development Area" which is the top of the Geelong residential hierarchy in Geelong Planning Scheme policy.

Over the same period initial discussions commenced on the South Geelong to Waurin Ponds rail duplication project which is part of a staged upgrade to the Geelong Rail Line delivered by the State Government. Construction commenced in late 2022 with the project including:

- the duplication of eight kilometres of track and signalling upgrades between South Geelong and Waurin Ponds station
- removal of the level crossing at Fyans Street and the Surf Coast Highway
- upgraded stations at South Geelong and Marshall with new station buildings, landscaped forecourts, second platforms and accessible pedestrian overpasses.

The South Geelong to Waurin Ponds rail duplication project was completed August 2024.

In addition to the rail duplication and identification of the Barwon Water site, Council's Settlement Strategy (2020), which was incorporated into the Planning Scheme with the gazettal of Amendment C385ggee in May 2021, acknowledged the need for an Urban Design Framework for South Geelong including a review of the 'Increased Housing Diversity Areas' and nomination of the precinct as a Key Development Area. It concluded:

A change to the South Geelong Increased Housing Diversity Area boundary could increase diversity within 800m of the station, by extending towards Central Geelong, and south to Fyans Street. Heritage areas and established character will need to be carefully managed. The expansion of the South Geelong Key Development Areas and Increased Housing Diversity Areas would, in effect, create a wider city area, comparable in size to the Melbourne Hoddle Grid.

As a consequence, work commenced on the development of the SGUDF with three stages of community engagement conducted between 2019 and 2022. Various engagement techniques were used including face to face and online workshops, while letters were sent to all owners and occupiers prior to the commencement of each consultation. The key issues raised by the community over the three-year period included:

- **Density and Height of Development:** Concerns were raised about increased building heights and density with many opposing 10-storey developments but showing some acceptance for 4-6 storey buildings.
- **Public Realm and Streetscape:** Community members supported increased green spaces, more tree plantings and improved pedestrian and cycling infrastructure.
- **Concerns about the adequacy of social infrastructure** like schools and medical facilities to accommodate the growing population.
- **Traffic and Transport:** Existing traffic and parking issues were highlighted, and there were requests for a traffic impact and management plan.
- **Heritage and character preservation:** Protecting existing heritage and neighbourhood character was a high priority from the community, while some about the impact of higher densities on existing heritage.

The SGUDF was prepared by Council and was informed by:

- a series of background technical studies (relating to development feasibility, heritage, traffic and car parking impact on Carr Street, environmental assessment and a capacity for change study)
- extensive community and stakeholder consultation.

Table 1 Chronology of events

Date	Action
2017 – 2019	Barwon Water consolidated their offices to Ryrie Street and approached Council regarding the potential redevelopment of the former depot at 40-44 Lonsdale Street
July – Aug 2019	SGUDF stage 1 engagement face to face workshop to inform the key issues and challenges within the study area
July 2020	Council published the First Draft SGUDF
Aug – Sept 2020	Stage 2 community engagement following the exhibition of the Draft SGUDF
2020 - 2021	Council finalised a draft version of the SGUDF informed by Stage 2 consultation
Feb – Apr 2022	Stage 3 community engagement
27 Sept 2022	The SGUDF was adopted by Council which resolved to support the preparation and exhibition of the Amendment
22 Dec 2023	Council requested Ministerial authorisation to exhibit the Amendment
12 March 2024	Council was authorised to prepare and exhibit the Amendment subject to conditions
11 April – 13 May 2024	Amendment C432ggee was placed on exhibition
27 Aug 2024	Council considered a report on submissions and resolved to refer them to an independent Panel to review all submissions
28 Aug 2024	Council submitted request for Panel
4 Oct 2024	Directions Hearing held
12 Nov 2024	Panel Hearing commenced

1.3 Procedural issues

Post exhibition Council made a number of changes to the Amendment documents in response to submissions. At the commencement of the Hearing Council submitted its Day 1 version of the Amendment with its Part A submission (Documents 10b) to 10l)). As a consequence of the changes included in the Day 1 version, on 30 October, Submitter 1 advised the Panel that it no longer wished to call evidence or make any further submission opposing the Amendment.

Following correspondence from the Environment Protection Authority (EPA) (Documents 6, 7 and 8) and the Direction by the Panel that Council should respond to the EPA's email (Document 9), Council made further changes to the Amendment documents which became the Day 2 version contained in its Part B submission (Documents 15 and 16).

1.4 The Panel's approach

Key issues raised in submissions were:

- The application of proposed PAO4 to the rear of properties fronting Moorabool Street to facilitate the widening of Lambs Place.
- The application of the Heritage Overlay.
- The proposed rezoning of residential land to either GRZ5 or RGZ4.
- Requested changes to the DDO50 and DDO54.
- Proposed changes to Planning Policy in Clause 11.03-6L-05.
- Requested changes to the SGUDF.

The Panel has assessed the Amendment against the principles of net community benefit and sustainable development, as set out in Clause 71.02-3 (Integrated decision-making) of the Planning Scheme.

The Panel considered all written submissions made in response to the exhibition of the Amendment, observations from site visits and submissions, evidence and other material presented to it during the Hearing. It has reviewed a large volume of material and has had to be selective in referring to the more relevant or determinative material in the report. All submissions and materials have been considered by the Panel in reaching its conclusions, regardless of whether they are specifically mentioned in the report.

This report deals with the issues under the following headings:

- Strategic issues
- South Geelong Urban Design Framework
- Policy changes
- Public Acquisition Overlay
- Heritage Overlay
- Zoning changes
- Design and Development Overlay Schedules.

2 Strategic issues

2.1 Planning context

This chapter identifies planning context relevant to the Amendment. Appendix D highlights key imperatives of relevant provisions and policies.

Table 2 Planning context

	Relevant references
Victorian planning objectives	- section 4 of the PE Act
Municipal Planning Strategy	- Clause 2
Other planning strategies and policies	- South Geelong Urban Design Framework - Housing Diversity Strategy, 2007 - City's Settlement Strategy, 2020
Planning scheme provisions	- Residential Growth Zone - General Residential Zone - Heritage Overlay - Design and Development Overlay - Public Acquisition Overlay
Planning scheme amendments	- Greater Geelong Amendment C431ggee – Central Geelong Framework Plan - Greater Geelong Amendment C469ggee - Planning Policy Framework Review and Housing Framework Review
Ministerial directions	- Ministerial Direction (The Form and Content of Planning Schemes) - Ministerial Direction No. 1 (Potentially Contaminated Land) - Ministerial Direction 11 (Strategic Assessment of Amendments) - Ministerial Direction No. 15 (Planning Scheme Amendment Process) - Ministerial Direction No. 19 (The preparation and content of amendments that may result in impacts on the environment, amenity and human health)
Planning practice notes	- Planning Practice Note 01: Applying the Heritage Overlay (PPN01) - Planning Practice Note 30: Potentially contaminated land (PPN30)

2.2 Strategic justification

(i) Submissions

Council submitted that the Amendment implements the vision outlined in the SGUDF which states:

The existing and identified heritage and neighbourhood character values will be protected within South Geelong with modest development to occur over time.

Opportunities for increased densities will occur within key development areas, including Moorabool Street, The Station Precinct and the Barwon Water site. These areas will present vibrant public spaces, including a combination of mixed uses for residents to enjoy.

Development will be of a high standard, incorporating a range of different building forms and materials and include exemplar ESD principles.

Existing infrastructure will be upgraded to include social housing, increased green spaces and improved open space areas, creating an attractive destination for new and existing residents.

The character of Moorabool Street is expected to alter over time to have a residential focus with increased opportunities for active frontages and uses that provide vibrancy.

Improved pedestrian and cycling links will make movement in and around the study area more accessible with increased links provided to the train station.

Key development areas will undergo substantial change and incorporate increased densities while identified minimal change areas will protect neighbourhood and character values.

It added that the Amendment takes a balanced approach to meeting the community's expectations about development and meeting Geelong's housing needs. In addition, Plan Victoria had set a target of 139,000 new dwellings for Geelong, the largest outside metropolitan Melbourne. Council informed the Panel that its Settlement Strategy had set a target of a 50 per cent infill/greenfield target for new dwellings and:

Well located areas like South Geelong will make a critical contribution to the State and City's goal of achieving more dwellings and density in the established suburbs of urban Geelong (i.e. infill development).

Submitters 3, 4 11, 13 and 37 made submissions on the SGUDF. These submissions generally supported the Amendment and the strategic direction of the SGUDF but sought changes to the content of the document. These matters are discussed in more detail in Chapter 3 of this report.

(ii) Discussion

Of the 34 submissions opposing the Amendment all took issue with specific changes to the Greater Geelong Planning Scheme provisions and not the SGUDF as the strategic basis for the Amendment. Likewise, the five submissions that specifically referenced the SGUDF, while supporting the Amendment, recommended changes to the provisions included in the Amendment documents. None of these submissions challenged the SGUDF as the strategic basis for the Amendment.

In the Panel's view the SGUDF is a well founded and balanced document that provides the strategic basis for the Amendment. Some of the recommended changes to the Planning Scheme are discussed in more detail in the following sections. Nevertheless, the SGUDF provides an appropriate strategic justification for the Amendment.

(iii) Conclusions

For the reasons set out in this report, the Panel concludes that the Amendment:

- is supported by, and implements, the relevant sections of the Planning Policy Framework
- is consistent with the relevant Ministerial Directions and Practice Notes
- is well founded and strategically justified
- should proceed subject to addressing the more specific issues raised in submissions as discussed in the following chapters.

3 South Geelong Urban Design Framework

(i) The issue

The issue is whether the changes to the SGUDF recommended in submissions are appropriate.

(ii) Submissions

Council submitted that the three stages of public consultation provided adequate opportunity for those affected by the SGUDF to have input into the final framework. It considered the SGUDF is a balanced approach to:

... development in South Geelong that will help to achieve not only the City's housing needs but expectations the community has for how they want their suburb to develop.

Following a review of the SGUDF, Council identified the following errors in the document that needed to be corrected:

- the study area boundary in Figure 11
- duplication of the reference to Development Feasibility Study – Barwon Water site in line one
- the title of Figure 42 which displays the sustainable change area not the Increased Housing Diversity Area
- the Station Hub Staging Plan – Key item 5 “Verner Street and Bellerine Street public realm upgrades by State Government of Victoria” text to include “subject to future funding approval”
- the irrelevant second sentence of the Concept Plan for Station Precinct – Item 7.

Submitter 3 stated that government policy would support an expanded RGZ4 area and the Yarra and Swanston Street properties north of the train station should be included in the station precinct Key Development Area. In addition, the upper level setbacks frustrate efficient and environmentally sustainable design.

Submitter 4 submitted that it was odd that given the *“extensive and lengthy objectives and strategies contained within the UDF”* only three were included in the amended Clause 11.03-6L-05 and these should be redrafted. It added that beyond building height limits, street wall heights and setbacks the prescribed controls in the SGUDF were too extensive and would *“create built form outcomes that are derivative and monotonous.”*

The submitter added that some objectives and strategies were in conflict and that the SGUDF would benefit from a consolidation of objectives and strategies and a review of conflicting content. It identified the following primary issues:

- rear setback interface requirements
- proposed future pedestrian links
- reduction of on-street parking provision in Lonsdale Street
- overshadowing requirements that exceed typical ResCode standards contained at Clause 55.

Submitter 11 stated that the SGUDF should include changes to Moorabool Street to provide for a more accessible and inviting interface to Kardinia Park.

Submitter 13 recommended a number of changes in its submission which included:

- further assessment of the heights proposed for the Barwon Water site to maximise the benefits of the strategic development site

- the need for interface measures such as controlling setbacks, limiting new vehicle crossovers, parking controls to maintain the efficient operation of McKillop Street, Latrobe Terrace and Fyans Street
- the need for a comprehensive traffic impact assessment to identify any potential upgrades to arterial; and local roads as well as intersections
- provision of a vehicle connection from the proposed multi-deck car park to Swanston Street, between Foster Street and the railway line
- the SGUDF should not discourage private vehicles on Moorabool Street and its current function of a connector road into the Geelong CBD should be retained.

Submitter 37 suggested the following changes to the SGUDF:

- Revise Figure 11 to ensure alignment with other plans; extend the south-eastern section of the study area boundary to or beyond Swanston Street.
- Increase maximum building heights to 10 storeys to encourage maximising densities within the Station Precinct.
- Adopt an indicative approach to building heights in the Moorabool Street Key Development Area.
- Expand the Moorabool Street Key Development Area to encompass the 'wedge' of land north of Lonsdale Street between Moorabool and Yarra Street.
- Because they are within 800 metres of the station, extend the Increased Housing Diversity Areas into the area south of Foster Street between Yarra Street and Bellarine Street and sites around Richmond Crescent (Neighbourhood Area 3).
- Include a section outlining additional actions necessary to address social and community infrastructure needs.
- Incorporate a section considering potential SGUDF adjustments if an underground train station is constructed at South Geelong.
- Collaborate with Rail Projects Victoria to establish a more realistic timeline for redeveloping the Station land and multi-deck car park.

Jennifer Bantow attended the Hearing and requested the Panel allow her to make a verbal presentation in support of the Amendment. As none of the parties present at the Hearing objected to that approach, the Panel allowed Ms Bantow to make that verbal presentation (recorded as Submission 53).

(iii) Discussion

The Panel accepts Council's submission that the SGUDF has undergone an extensive consultation process and has provided ample opportunity for input on the SGUDF. In the Panel's view the SGUDF is a strategic background document which is partly based on the recommendations of other studies. The changes requested in submissions either focus on the detail of the controls proposed in the Amendment, which are dealt with elsewhere in this report, or are beyond the scope of an urban design framework.

Nevertheless, the Panel acknowledges that some of the changes requested in submissions have been incorporated to the Day 1 and 2 version of the Amendment documents.

The Panel supports the Day 1 corrections to the SGUDF identified by Council. It notes however, that the boundaries of the SGUDF area detailed in the dot points on page 9 of the document do not match the diagrams and other plans and should be reviewed.

(iv) Conclusions and recommendations

The Panel concludes:

- The SGUDF is an appropriate background document.
- Other than the corrections recommended by Council and the Panel, no further changes are required.

The Panel recommends:

- 1. Amend the South Geelong Urban Design Framework by:**
 - a) correcting the study area boundary in Figure 11**
 - b) removing the duplication of the reference to Development Feasibility Study – Barwon Water site in line one**
 - c) correcting the title of Figure 42 which displays the sustainable change area not the Increased Housing Diversity Area**
 - d) amending the Station Hub Staging Plan – Key item 5 ‘Verner Street and Bellerine Street public realm upgrades by State Government of Victoria’ text to include “subject to future funding approval”**
 - e) removing the irrelevant second sentence of the Concept Plan for Station Precinct – Item 7**
 - f) correcting the boundary description of the study area consistent with the descriptive dot points on page 9.**

4 Policy changes

(i) The issue

The issue is whether the proposed changes to Clause 11.03-6L-05, Clause 16.01-1L and Clause 16.01-2L are appropriate:

(ii) Submissions

Council informed the Panel that the Amendment:

- inserts Clause 11.03-6L-05 (South Geelong) to give effect to the objectives and strategies for South Geelong and the Key Development Areas identified in the SGUDF
- amends Clause 16.01-1L-01 (Integrated housing and housing diversity) to insert the 'South Geelong Key Development Area Map' to identify Moorabool Street and Station Hub as Key Development Areas
- amends Clause 16.01-1L-02 (Increased Housing Diversity Areas) to remove 'Station' from 'South Geelong Station' in the policy application, and add the SGUDF as a relevant policy document and replace the 'South Geelong Station Increased Housing Diversity Areas Map' with a revised map
- inserts Clause 16.01-2L (Social and affordable housing) into the Greater Geelong Planning Scheme to facilitate the delivery of affordable housing in line with State and Regional Policy.

Submitter 1 opposed the limitation of commercial uses to ground levels and the number of buildings used solely for commercial purposes. The submitter supported a reduction in, or shared car parking spaces for commercial uses.

Submitter 3 recommended creating a usable water sensitive public green space within the broad Lonsdale Street Road reserve rather than *"support centre median car parking along Lonsdale and Bellerine Streets adjacent to the Station Hub."*

Submitter 4 requested the headings 'Public Domain', 'Street Network' and 'Access and Movement Networks' be removed from Clause 11.03-6L-05. It submitted planning policy needs to relate to matters that require planning approval and the strategies under those headings pertain to public realm upgrades that will be the responsibility of the Council or the State Government. The submitter also requested clarification about why Clause 16.01-2L Increased Housing Diversity Areas for South Geelong Station no longer applies to the Heritage Overlay.

Council submitted that in response to submissions it reviewed the exhibited changes to planning policy and agreed to remove or reword several strategies in Clause 11.03-6L-05 that were either redundant, not implementable or duplicated. This included:

- Discouraging private vehicle use by designing streets for slow circulation speeds, giving priority to other modes at intersections and constraining provisions of private vehicle parking.
- Supporting a reduction in, or shared car parking space for residential development.
- Providing directional signage to clearly mark the start and finish of the Bellerine Rail Trail.
- Supporting an upgrade to the Bellerine/Lonsdale Street intersection to improve pedestrian and vehicle safety.

- Supporting the provision of a bus stop accommodating additional bus routes improving access to the South Geelong Station Hub and surrounding suburbs.

These changes were included in Council's 'Day 1' version of the Amendment.

(iii) Discussion

Limiting planning policy to matters that require planning approval only is a very restrictive view of the application of policy. In the Panel's view it is appropriate for a planning authority to include matters that are the responsibility of government as a clear indication of its role in implementing the policy.

The Panel acknowledges Council's attempt to deal with submissions by agreeing to changes in the exhibited policy clauses. These changes largely deal with the matters raised in submissions and the Panel supports the post exhibition changes to Clause 11.03-6L-05 proposed by Council in the Day 2 version to the exhibited clauses 11.03-6L-05.

The Panel notes that no further changes to Clause 16.01-1L and Clause 16.01-2L were requested or required on the exhibited clauses.

(iv) Conclusion and recommendation

The Panel concludes:

- The changes to Clause 11.03-6L-05, Clause 16.01-1L and Clause 16.01-2L are appropriate and no further changes are required.

The Panel recommends:

- 2. Replace Clause 11.03 with the Panel preferred version in Appendix E.**

5 Public Acquisition Overlay

(i) The issue

The issue is whether the application of the PAO4 is appropriate.

(ii) Background

The exhibited Amendment proposed to apply the PAO4 to the rear of the properties fronting Moorabool Street (Figure 2) to facilitate the widening of Lamb Place to cater for deliveries and vehicle parking and movement.

Figure 2 The exhibited PAO4



The purpose of the PAO is to:

- To identify land which is proposed to be acquired by a Minister, public authority or municipal council.
- To reserve land for a public purpose and to ensure that changes to the use or development of the land do not prejudice the purpose for which the land is to be acquired.
- To designate a Minister, public authority or municipal council as an acquiring authority for land reserved for a public purpose.

Council is the Acquiring Authority for PAO4 for which the purpose is proposed road (no category).

(iii) Submissions

Council submitted that the application of the PAO4 was to enable the widening of Lamb Place from 4 metres to 6 metres in width to provide for two-way vehicle access. This access would, in turn, support the car parking strategies of Clause 16.02-L1-02 and the 'Access Parking and Loading Areas' provisions in the 'Buildings and Works' requirements of DDO54.

Submitters 1, 2, 4, 16, 17 and 26 opposed the application of the PAO. Submitter 1 stated that there was an absence of any design information and documentation about why a 2 metre setback was chosen. It added:

While we generally understand the intention to facilitate the widening of the existing rear lane for deliveries and vehicle movements, no substantiating information has been provided to justify this decision.

These submitters added that the timing for the acquisition of the land was unclear and with the 2 additional metre building setback required by DDO54 would effectively mean a loss of 4 metres of developable land.

Submitters 2, 4 and 16 observed that many properties contain built form within the 2 metre wide area of the Overlay, some of which has been recently constructed and consequently could not be acquired without significant effect on these structures. Submitter 26 thought more explanation of the proposal was required.

In its Part A submission, Council advised that it had further reviewed the PAO4. It concluded that the PAO4 would be difficult to implement, particularly where parts of existing buildings would be impacted. As a result, it agreed that the application of the PAO was premature. Council acknowledged it had no plan or budget to undertake the acquisition and submitted that it no longer supported the application of the PAO4 as exhibited.

In light of Council's statement, on 30 October 2024, Submitter 1 advised the Panel that it no longer wished to call evidence or make any further submissions to the Hearing.

(iv) Discussion

The Panel accepts the concerns expressed by some submitters that the application of the PAO, while reasonable in concept was not supported by an appropriate level of detail, documentation for support from the acquiring authority. Council came to a similar conclusion in its Part A submission. For this reason, the Panel supports the removal of the PAO4 from the Amendment.

(v) Conclusion and recommendation

The Panel concludes that the application of the PAO4 is not appropriate.

The Panel recommends:

- 3. Delete the application of the Public Acquisition Overlay Schedule 4 (PAO4).**

6 Heritage Overlay

(i) The issue

The issue is whether the application of HO1641 is appropriate.

(ii) Background

South Geelong UDF Heritage Review, November 2023 (Heritage Review)

In preparing the SGUDF, the City of Greater Geelong reviewed the heritage significance of properties within the study area boundary to determine if there were additional properties which would warrant heritage protection. The Heritage Review consisted of four parts:

- Part 1 Character Study

Contains a historical overview of the study area prepared by Authentic Heritage Service June 2020. This report makes recommendations regarding properties which could be further investigated for inclusion within a Heritage Overlay. The report did not make recommendations regarding any the application of the Heritage Overlay to existing individual heritage places within the Heritage Overlay.

- Part 2 Heritage Overlay Review

This report, prepared by Council's Urban Design and Heritage Department dated February 2022, further investigated the heritage significance of properties included in the recommendations contained in Part 1 and undertook further reviews of each individual property within the study area (excluding existing heritage listed places). This report recommended including an additional 193 Heritage properties within an expanded heritage precinct (HO1641).

- Part 3 Peer Review

This document reviewed the Part 1 and 2 prepared by Ecology and Heritage Partners (Aug 2022). This review also included an examination of heritage related submissions received during exhibition of the draft SGUDF which occurred between February and April 2022.

- Part 4 Individual place heritage assessments

Includes a draft updated Statement of Significance for HO1641 as well as additional Statements of Significance for three individually listed heritage places. The three additional listings were prepared in response submissions made to the South Geelong SGUDF at a Council meeting on 27 September 2022.

Proposed Heritage Overlay extent

The Amendment proposes to:

- remove HO1641 from eight properties that lack any defining heritage attributes or having the Heritage Overlay applied incorrectly.
- remove HO999 from 315-323 Latrobe Terrace.
- apply HO1641 to an additional 193 properties in the City South Heritage Area.
- apply HO2023, HO2024 and HO2025 to three individual properties on Moorabool Street.
- apply HO1029, HO1161, HO1199, HO1644 to selected properties to correct mapping anomalies.

(iii) Evidence and submissions

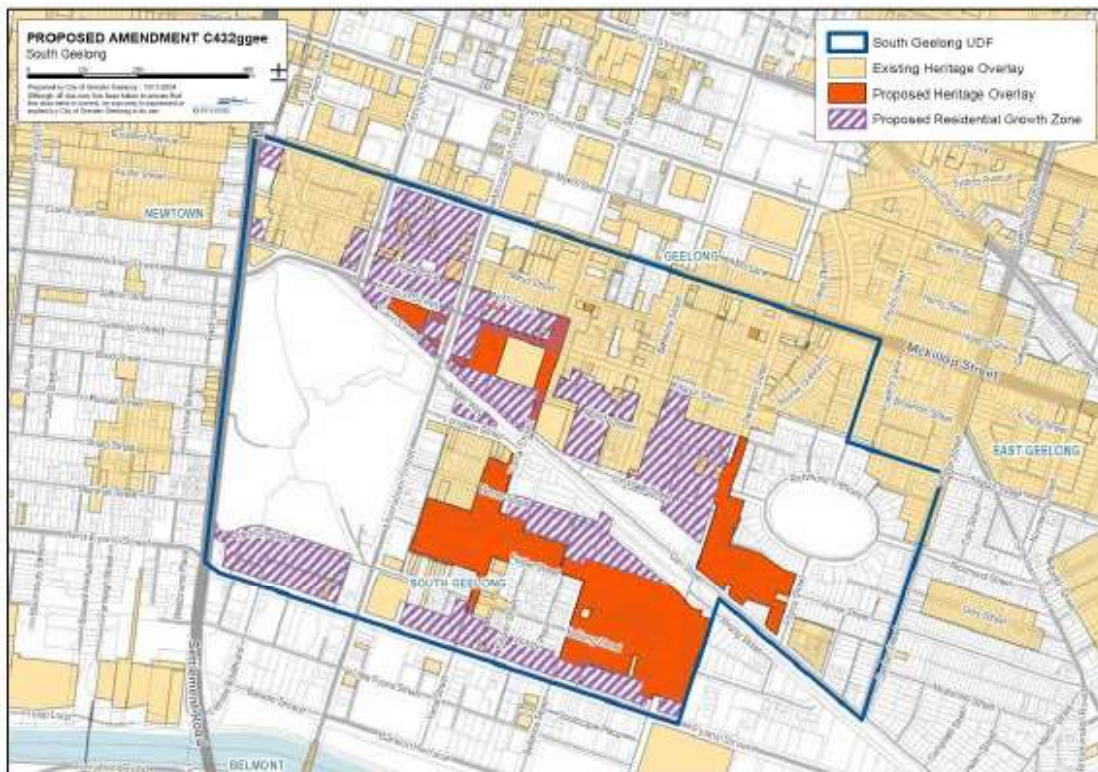
Council submitted that the changes to the Heritage Overlay proposed by the Amendment were informed by the Heritage Review. In response to submissions Council recommended that 263 Yarra Street South Geelong and 262 Bellarine Street South Geelong, both of which are recent builds, be removed from the exhibited HO1641. In addition, Council recommended the following additional changes:

Amend the primary sources in the Statements of Significance for the three individual significant properties (HO2023, HO2024, HO2025) and the Statement of Significance and Heritage Design Guidelines for the City South Heritage Area to:

- add City of Greater Geelong, South Geelong UDF Heritage Review, (City of Greater Geelong 2023) as a primary source
- add Bantow, J., *Stage 3 Submission, South Geelong Interim Final Urban Design Framework*, 10 April 2022
- remove Ecology & Heritage Partners Pty Ltd, *South Geelong Heritage Precinct HO1641, Peer Review*, August 2022 as a primary resource
- remove South Geelong Urban Design Framework - Heritage Character Study (Authentic Heritage Services, June 2020)
- remove South Geelong Urban Design Framework - Proposed Revision to HO1641 City South Heritage Area (City of Greater Geelong, October 2021).

Council submitted that the substantial change areas of the RGZ4 avoids existing and proposed Heritage Overlay areas and in support of this view provided a map (Part C submission and reproduced in Figure 3) which shows the existing and proposed Heritage Overlay extent and the proposed RGZ4.

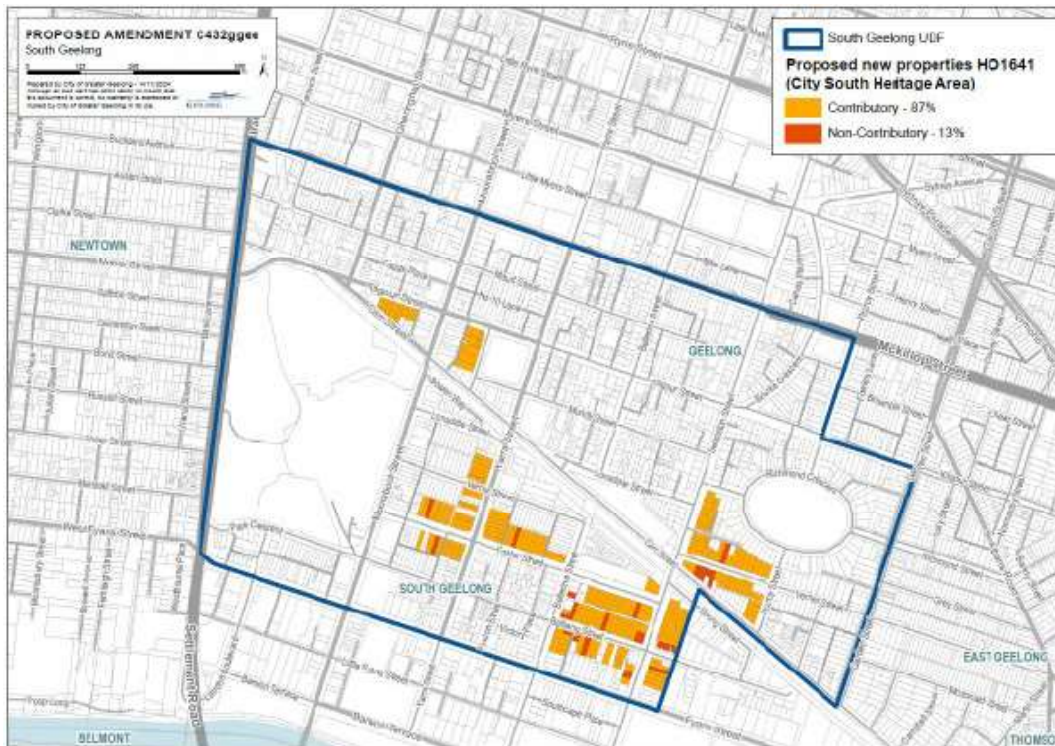
Figure 3 Existing and proposed Heritage Overlay extent and proposed RGZ4 areas



In response to a question from the Panel about the proportion of contributory and non-contributory places, Council provided the following map (Figure 4) showing the proportion of

places making up the additions to HO1641 and stated that the vast majority of properties included in the City South Heritage Area were contributory.

Figure 4 Proposed extension to HO1641 showing location and percentage of contributory places



Ms Lardner gave evidence that the Heritage Review was based on the best practice Australia ICOMOS Burra Charter and met the requirements of Planning Practice Note 91: Applying the Heritage Overlay. She made the following recommendations:

- 262 Bellerine Street South Geelong should not be included in the HO.
- 264 Bellerine Street South Geelong should not be included in the HO.
- The properties at 65, 67, 69, 71 and 73 Kilgour Street should be considered as part of a future amendment as they meet the threshold to be contributory to HO1641.
- the north side of Kilgour Street between Moorabool Street and Swanston Street, except for the properties in the proposed RGZ4 facing Moorabool Street, should be zoned GRZ5. This means that 65, 67, 69, 71 and 73 Kilgour Street would be zoned GRZ5 not RGZ4.

With respect to the RGZ4, Ms Lardner stated that the zone was intended to encourage lot consolidation and increased opportunity for residential development. As such any heritage impacts would need to be considered where the Heritage Overlay applies to properties in the RGZ4. From this perspective she recommended the Kilgour Street properties should be part of a separate amendment to apply the HO1641 to them.

Council broadly adopted Ms Lardner's evidence and agreed that 65, 67, 69, 71 and 73 Kilgour Street met the threshold as contributory places to HO1641. However, the houses were not included in the Amendment because of a number of unsympathetic houses separated them from the precinct. Consequently, it did not support Ms Lardner's recommendation to apply the GRZ5 to these properties.

Submitter 15 (various properties) considered:

- all properties in the block bound by Moorabool Street, Kilgour Street, Yarra Street and Lane No 10 should remain in the GRZ5
- the Heritage Overlay should be applied to the houses in this block and in particular 65, 67, 69, 71, 73 and 83 Kilgour Street, 190 and 194 Yarra Street and 313 and 315 Moorabool Street.

Ms Lardner's evidence was that none of these building, except for 194 Yarra Street (HO1201) were individually significant, however the question was "*whether, as a group, they should be protected.*" Her assessment was other than 65, 67, 69, 71 and 73 Kilgour Street the other properties were impacted by non-contributory buildings or were from a different era and should not be included in HO1641. However, she agreed with the application of the Heritage Overlay to 65, 67, 69, 71 and 73 Kilgour Street.

Submitter 18 (25 Foster Street) opposed the application of the Heritage Overlay because the house was in a condition that required demolition and rebuilding to make it habitable. Ms Lardner stated that the house had been identified in HO1641 and the problems identified by the submitter were not uncommon in late nineteenth century buildings and consequently there was no change required to the Amendment.

Submitter 20 (74 Balliang Street) opposed the application of the Heritage Overlay because it was another layer of bureaucracy "*which discouraged the use of bare zinalume as a roofing material.*" Ms Lardner identified the building as a contributory and largely intact bungalow. She added that zinalume remains shiny and highly reflective rather than dulling with age making it visually dominant and incompatible with heritage streetscapes and Council's approach was consistent with a number of other municipalities. She recommended no change to the Amendment.

Submitters 30 and 38 (126 Swanston Street and 6 School Street) opposed the application of the Heritage Overlay because it would limit redevelopment opportunities in an inner urban area with good access to facilities, infrastructure and transport. Submitter 30 added that the application of the Heritage Overlay (HO1641) was incompatible with the objectives of RGZ4.

Ms Lardner's evidence was that the purpose of the Heritage Overlay is to ensure that heritage values are considered in assessing development applications and it is not aimed at restricting development. She stated both houses are contributory to HO1461 and the Amendment should not be changed.

Submitter 40 (262 Bellerine Street) opposed the application of the Heritage Overlay on the basis the house was built in 2005. Ms Lardner's evidence was:

...both 262 and 264 Bellerine Street should not be included in the HO as the right of way to the west is an appropriate point to end the HO on Foster Street. While the HO is applied east of Bellerine Street, this is the Foster Street Reserve so has a different character than the housing.

She recommended that both 262 and 264 Bellerine Street not be included in HO1641.

Submitter 52 (2 School Street) opposed the Heritage Overlay because the house had been relocated to its current site and had been altered from a Victorian style house to a Californian Bungalow. Ms Lardner confirmed that the house was built in 1898 and relocated in 1919 and the building remodelled to match the detail of the neighbouring houses. Her assessment was that the house remained contributory to HO1641.

(iv) Discussion

The Panel accepts the submission of Council and the evidence of Ms Lardner except for her recommendations with respect to the Kilgour Street. The application of HO1641 and the GRZ to these properties is beyond the scope of this Amendment and are matters the Council may wish to consider as a part of a future Amendment. While the Panel acknowledges Council's position that these properties would be isolated from the broader heritage precinct, there are examples, including properties in Kilgour Street and Carr Street west of Moorabool Street, where a similar separation from the broader precinct is proposed by the Amendment.

The Panel is reassured by Council's submission that "*with few exceptions*" the RGZ4 avoids the Heritage Overlay areas resulting in minimal conflict between the objectives of the Heritage Overlay and the RGZ4 and that 87 per cent of properties in the extended precinct have been graded as contributory. The Panel accepts Ms Lardner's evidence that the Heritage Review provides an appropriate basis for the additions to HO1641 and is consistent with the provisions of PPN01.

The Panel supports the post exhibition changes to Statements of Significance proposed by Council and the removal of the two Bellerine Street from the exhibited Heritage Overlay as recommended by Ms Lardner.

(v) Conclusions and recommendations

The Panel concludes:

- The application of HO1641 is appropriate.
- The post exhibition changes to the Statements of Significance proposed by Council (as outlined in this chapter) are appropriate.
- 263 Yarra Street South Geelong, 262 and 264 Bellerine Street South Geelong should be removed from the proposed HO1641.

The Panel recommends:

4. **Amend the primary sources in the Statements of Significance for the three individual significant properties (HO2023, HO2024, HO2025) and the Statements of Significance and Heritage Design Guidelines for the City South Heritage Area to:**
 - a) **add City of Greater Geelong, South Geelong UDF Heritage Review, (City of Greater Geelong 2023) as a primary source**
 - b) **add Bantow, J., Stage 3 Submission, South Geelong Interim Final Urban Design Framework, 10 April 2022**
 - c) **remove Ecology & Heritage Partners Pty Ltd, *South Geelong Heritage Precinct HO1641, Peer Review, August 2022* as a primary resource**
 - d) **remove South Geelong Urban Design Framework - Heritage Character Study (Authentic Heritage Services, June 2020)**
 - e) **remove South Geelong Urban Design Framework - Proposed Revision to HO1641 City South Heritage Area (City of Greater Geelong, October 2021)**
5. **Amend Maps 49HO and 50HO to remove 263 Yarra Street, 262 and 264 Bellerine Street, South Geelong from HO1641.**

7 Zoning changes

(i) The issues

The issues are whether:

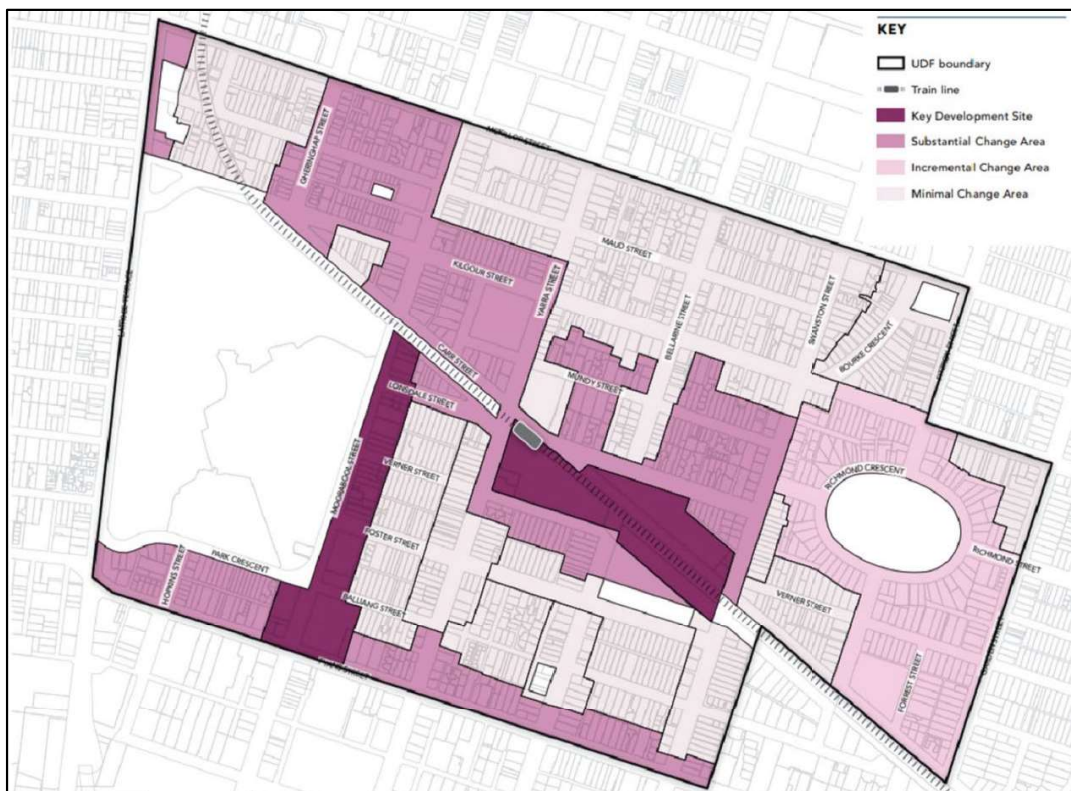
- the proposed zoning changes are strategically justified and appropriate
- the spatial extent of zone changes are appropriate.

(ii) Background

South Geelong Capacity and Change Areas Review 2022

The South Geelong Capacity and Change Areas Review 2022 (Capacity Review) was prepared to set a strategic direction for housing within the SGUDF study area. The review seeks to balance the aspirations of the Settlement Strategy and Housing Diversity Strategy to enable housing growth while enhancing existing neighbourhood character. The Review comprises of two components – a Neighbourhood Study and a Housing Capacity Assessment and identified nine neighbourhood types that formed the basis for the change areas (Figure 5) identified in the SGUDF.

Figure 5 South Geelong Urban Design Framework housing change areas



Zone purposes

The purpose of the GRZ4 is:

- To promote a preferred neighbourhood character where the design and siting of new dwellings provides generous landscaping through the retention of existing canopy trees.

The purpose of the RGZ4 is:

- To provide diverse housing that responds to the surrounding built form and character.
- To encourage lot consolidation.

- To minimise loss of canopy trees.

The purpose of the MUZ is:

- To provide for a range of residential, commercial, industrial and other uses which complement the mixed use function of the locality.
- To provide for housing at higher densities.
- To encourage development that responds to the existing or preferred neighbourhood character of the area.
- To facilitate the use, development and redevelopment of land in accordance with the objectives specified in a schedule to this zone.

(iii) Submissions

Council submitted that in implementing the findings of the Capacity Review and balancing the heritage and neighbourhood character values of South Geelong with the development opportunities provided by the South Geelong Station Hub and Moorabool Street, the Amendment proposed three zone changes (Figure 5). These areas were intended to be Increased Housing Diversity Areas, while being respectful to the heritage dwellings and neighbourhood character values in the area.

The Capacity Review identified four change areas (Figure 6):

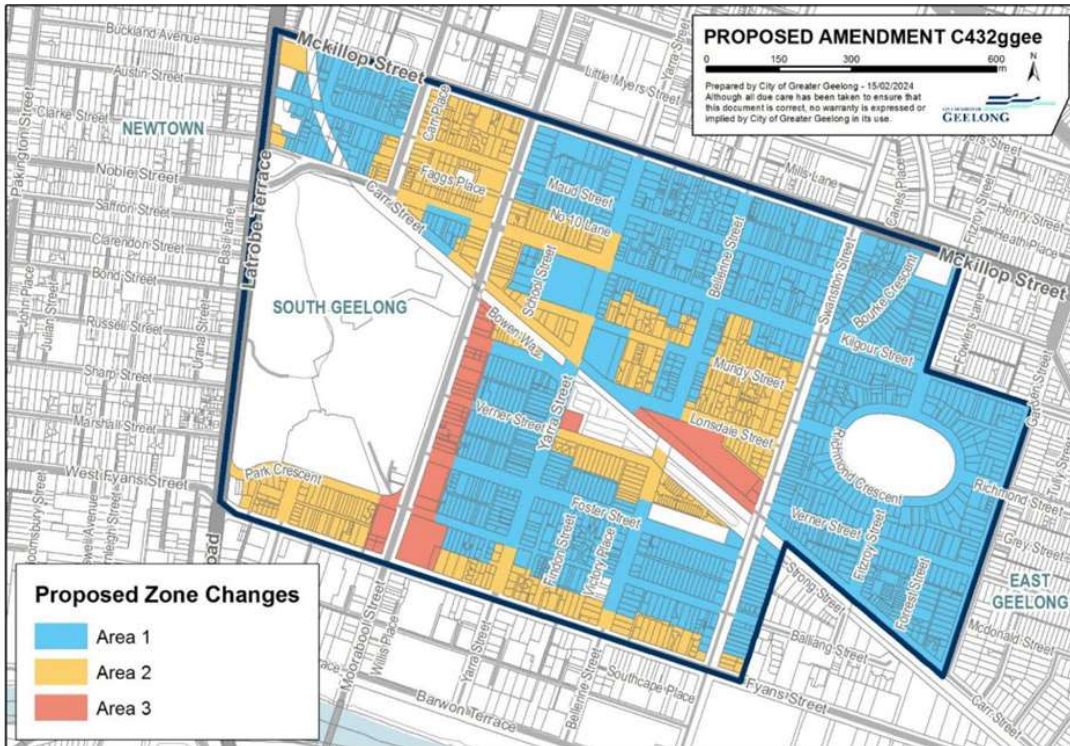
- key development sites
- substantial change areas
- incremental change areas
- minimal change areas.

The Amendment proposed to apply the MUZ to the key development sites, the RGZ4 to the substantial change areas, the GRZ5 to the incremental change areas and the GRZ5/HO for the minimal change areas. Council added that the application of these zones was consistent with *Planning Practice Note 91 – Using the Residential Zones July 2023*.

Council submitted that, in response to submissions, the text of the requirement for the minimum street setback requirement in Clause 2.0 of the RGZ4 should be replaced with the following:

Setback a minimum of 6m to Latrobe Terrace and 3m to all other streets.

Figure 6 Zone changes proposed by the Amendment



AREA 1

Properties located in Area 1 will be rezoned to **General Residential Zone Schedule 5 (GRZ5)** to support local character, and diverse housing. GRZ5 mandates minimum garden areas, caps building height at 11 meters, and limits structures to 3 storeys.

AREA 2

Properties located in Area 2 will be rezoned to **Residential Growth Zone Schedule 4 (RGZ4)** to provide diverse housing at increased densities in locations offering good access to services and transport. Building heights are limited to 13.5 metres, approx. 4 storeys.

AREA 3

Properties located in Area 3 will be rezoned to **Mixed Use Zone (MUZ)** to provide for a range of residential, commercial, industrial and other uses.

Mixed Use Zone

Council submitted that the key development sites or Increased Housing Diversity Areas are designated zones in the municipality where a variety of housing densities -high, medium and conventional are promoted, with the highest density focused on commercial cores and tapering off towards the edges. These areas are primarily located around major activity centres and key transport hubs like the South Geelong railway station to support increased residential and mixed use development. The overarching goal is to encourage mixed use development, ensure compatibility with neighbouring areas, and guide the evolution of neighbourhood character in response to changing housing needs.

Council added that:

Due to the Barwon Water site’s location, size and ownership, it was identified as having the potential to be a “Key Development Area” which is the top of the residential hierarchy in Greater Geelong Planning Scheme policy.

No submissions opposed the application of the MUZ.

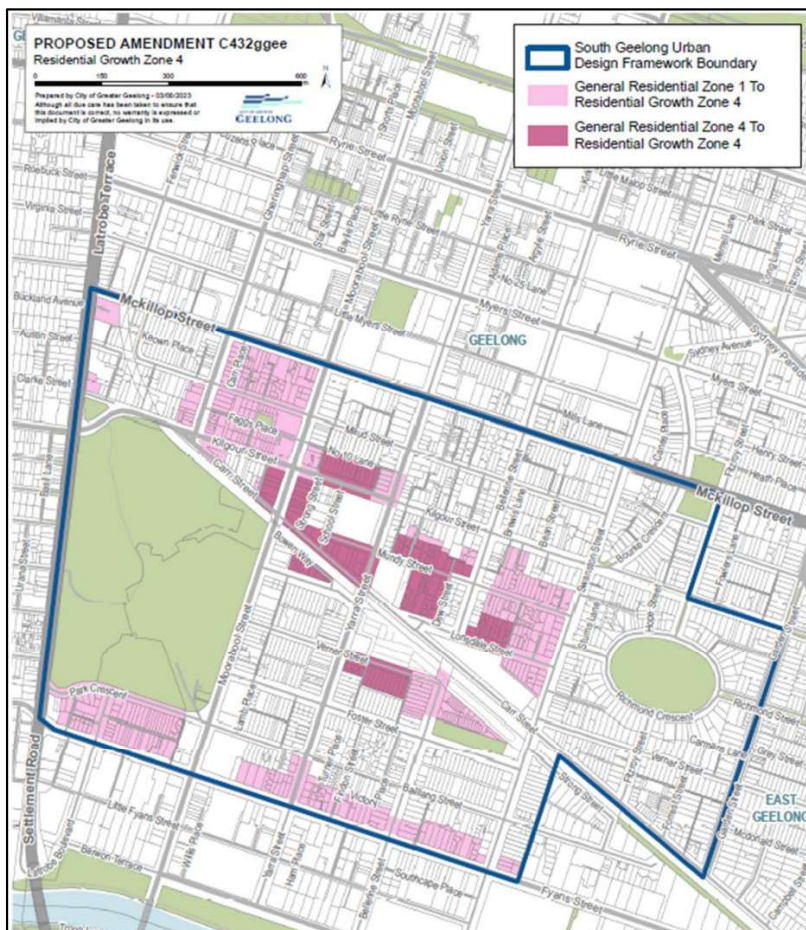
Residential Growth Zone

Council submitted:

Schedule 4 to the RGZ still seeks to minimise the loss of canopy trees but encourages lot consolidation and provides for diverse housing that responds to the surrounding built form and character. Any heritage impacts to these properties will be assessed at the planning permit application stage.

It added that the substantial change area identified in the Capacity Review generally matched the RGZ4 with the exception of the South Geelong Primary School and a handful of adjoining properties to its west (Figure 7).

Figure 7 Proposed zone changes to the RGZ4



Submitters 7, 8, 12, 20, 21, 23, 29, 31, 32, 41, 42 and 50 opposed the application of the RGZ4 for a range of the following reasons:

- the change from NRZ to GRZ4 will alter the heritage, landscape and environmental character of the existing neighbourhood
- potential for overshadowing and overlooking on neighbouring properties
- negative impacts on the landscape and environment of the area in particular the loss of green space
- increased levels of traffic and limited car parking availability
- impact on amenity and neighbourhood character of the area
- impact on the existing infrastructure
- impact on surrounding heritage.

Submitters 28 and 33 did not oppose the rezoning but wanted clarification on how the RGZ4 controls would be applied.

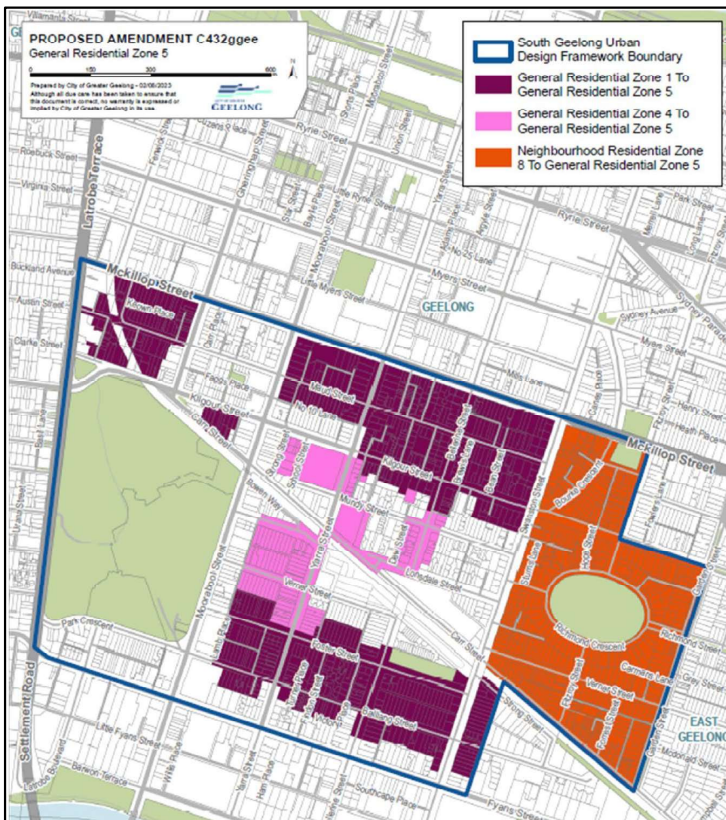
Submitters 3, 4 and 34 supported the extension of the RGZ to other areas given the proximity of some properties to key development sites or with a frontage to arterial roads.

Submitter 15 opposed the application of the RGZ4 to the properties bound by Moorabool Street, Kilgour Street, Yarra Street and Lane No 10 because the existing infrastructure could not support more intensive development. The submission stated that the existing drainage, water supply and sewer infrastructure have difficulty accommodating the existing residences and would need significant upgrades before the development encouraged by the RGZ4 could occur.

General Residential Zone

Council submitted that land proposed to be zoned to GRZ5 is a combination of existing Neighbourhood Residential Zone Schedule 8 (NRZ8) and GRZ Schedules 1 and 4 which were identified as minimal in the Capacity Review. Council provided Figure 8 which shows the current zoning of properties proposed to have the GRZ5 applied.

Figure 8 Proposes zone changes to the GRZ5



Council acknowledged that NRZ8 would typically apply to minimal change areas. However, it submitted that in this instance the GRZ (with a tailored schedule) is a more appropriate zone for the South Geelong’s minimal change areas. Council advised that the GRZ5 included the following neighbourhood character objective:

To promote a preferred neighbourhood character where the design and siting of new dwellings provides generous landscaping through the retention of existing canopy trees

Submitters 7 and 28 opposed the rezoning from NRZ to GRZ5.

(iv) Discussion

The proposed rezoning of the land in South Geelong to GRZ5, RGZ4 and MUZ aims to facilitate the development of these sites for higher density residential and associated ancillary uses so as to provide for the increased demand for housing in the precinct while maintaining heritage and neighbourhood character values.

Mixed Use Zone

The South Geelong Station Hub is focused on the land around the recently completed South Geelong railway station and railway duplication, the former Barwon Water site and surrounding areas, including Bellarine, Carr, Lonsdale, Verner and Yarra Streets. While the Barwon Water site is proposed to be rezoned to MUZ, the surrounding residential pockets around the site are proposed to be rezoned to RGZ4.

The redevelopment of the Barwon Water site is sound and consistent with the Planning Policy Framework including the objectives of the *Settlement Strategy*. The Amendment adopts a similar approach for Moorabool Street, between Fyans Street and the railway line. The land in this area is proposed to be rezoned to MUZ with the surrounding residential areas a mix of RGZ4 and GRZ5.

The Panel accepts Council's submission and supports the identification of these key redevelopment sites in and around railway stations and on arterial roads in a manner respectful to the surrounding environs.

Residential Growth Zone

Land proposed to be rezoned to RGZ4 has been identified by Council through the Capacity Review, and consistent that work the proposed RGZ4 generally matches the substantial change area. The heritage considerations are discussed in section 5 of this report. The Panel acknowledges that the schedule to the RGZ still seeks to minimise the loss of canopy trees but encourages lot consolidation and provides for diverse housing that responds to the surrounding built form and character.

The Panel accepts the Council's submission that the application of the RGZ4 to the substantial change area is consistent with Planning Practice Note 91 – Using the Residential Zones (July 2023). The Panel notes the submission from Barwon Water which states that the South Geelong is well serviced with water supply and sewerage.

General Residential Zone

The properties proposed to be zoned to the GRZ5 are a combination of existing NRZ8, GRZ1 and GRZ4 that were identified as both minimal' and incremental change areas in the Capacity Review.

The Panel notes that the application of GRZ5 to land identified as minimal change area is not strictly in accordance with Planning Practice Note 91 – Using the Residential Zones (July 2023) which aligns minimal change areas with the NRZ. Nevertheless, the Panel agrees with Council's submission that this zoning and its purpose is appropriate given the proximity to South Geelong train station. It will facilitate infill development meeting Geelong's housing needs while respecting neighbourhood character and heritage (due to the Heritage Overlay permit trigger). In addition, the Schedule to GRZ5 includes a neighbourhood character objective and provides for landscaping through the retention of existing canopy trees.

The Panel considers the post exhibition changes to Clause 2.0 of the RGZ4 are appropriate.

(v) Conclusions and recommendations

The Panel concludes:

- the proposed rezoning of land has strategic merit and is appropriate
- the proposed zones appropriate
- the locations to be zoned are appropriate for the zones proposed.

The Panel recommends:

- 6. Amend Clause 2.0 of Schedule 4 to Clause 32.07 Residential Growth Zone to replace the text of the requirement of the minimum street setback with the following:
“Setback a minimum of 6m to Latrobe Terrace and 3m to all other streets.”**

8 Design and Development Overlay Schedules

(i) The issues

The issues are whether:

- the proposed DDO50 and DDO54 controls are appropriate
- the post exhibition changes to DDO50 and DDO54 proposed by Council are appropriate.

(ii) Background

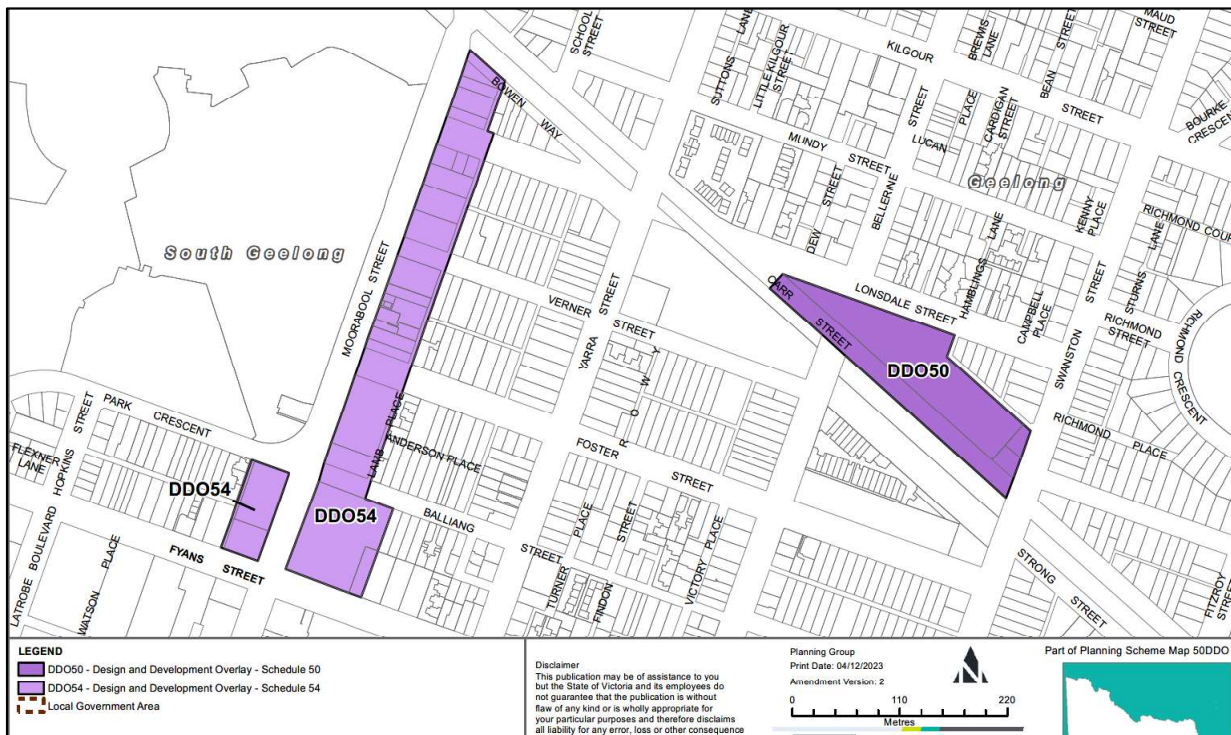
The design objectives of DDO50 are:

- To develop an ecologically sustainable, transit orientated precinct that incorporates best practice environmental management.
- To support a mix of high-quality high and medium density built form that has an appropriate interface to adjacent streets and creates a landmark building fronting the station plaza north of the railway line.
- To create high-quality landscaped and safe public spaces that ensure a visual connection across the railway line at Bellerine Street, celebrates the beginning of the Bellarine Rail Trail and delivers a legible and coherent street structure.
- To improve pedestrian connections within and around the subject site and contribute to improved street environments resulting from the closure and redirection of Carr Street.
- To protect the internal residential amenity of new buildings by limiting noise transmission and provide acoustic measures to protect from external noise sources such as train and public spaces.

The design objectives of DDO54 are:

- To promote contemporary design and built form that demonstrates design excellence, enables a diverse mix of housing and commercial uses, and contributes to the distinctive boulevard character and greening of Moorabool Street.
- To support lot consolidation to achieve maximum building heights, desired scale and setbacks that also deliver high levels of internal amenity.
- To ensure that development provides equitable development rights to adjoining sites and allows reasonable access to sunlight, daylight, outlook and privacy to habitable spaces.
- To ensure that development supports accessibility and ease of walking, cycling and use of public transport, to, from and around the Moorabool Street area.
- To protect the internal residential amenity of new buildings by limiting noise transmission and provide acoustic measures to protect from external noise sources such as trains, commercial activities and public spaces.

Figure 9 Location of the proposed DDO50 and DDO54



(iii) Submissions

Council submitted that the DDOs provide built form controls and require development to respond: ...to the surrounding urban context (including built form character of adjacent and nearby buildings, adjacent and nearby heritage places, and equitable outcomes for potential development on adjoining sites).

Council noted that all the DDO provisions are discretionary and provide flexibility when assessed at the planning permit stage.

Post exhibition and in response to submissions, Council advised that it met with some submitters and as a result agreed to made changes to the exhibited DDO50 and DDO54 which were included in the Day 1 version of Amendment documents.

Design and Development Overlay Schedule 50

Council submitted that the DDO50 applied to land at 40-44 Lonsdale Street, 146 Swanston Street and 51 Carr Street South Geelong known as the Barwon Water site. The Amendment proposed to rezone this land to a MUZ. The urban context surrounding the Barwon Water site is a mixture of significant heritage properties proposed for the GRZ5 and non-heritage areas that are to be rezoned RGZ4.

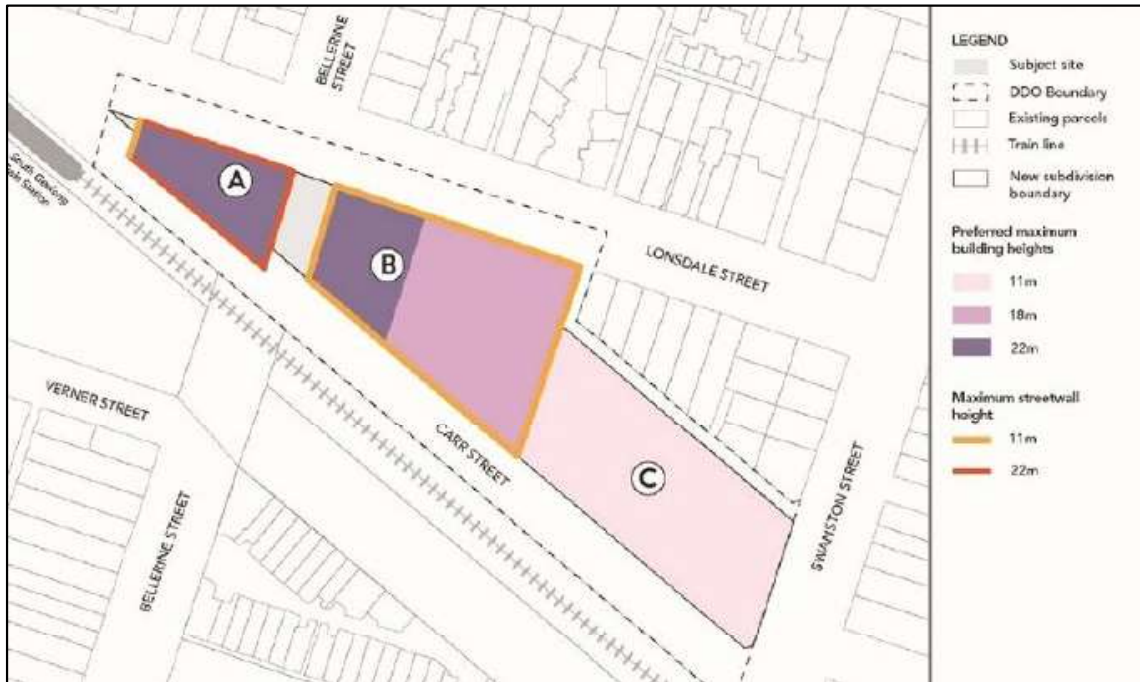
Council added that the DDO50 built form controls respond to this context by:

...providing a transition in height and scale from high to medium density at the Station end to the west of the site, to lower scale development at the eastern edge towards Swanston Street.

Council informed the Panel that the exhibited preferred maximum building height for Parcel C (Figure 10) was exhibited at 11 metres (3 storeys). However, its Part A submission, Council proposed to increase this height to 13.5 metres (4 storeys) given the properties directly to the

north of the site are proposed to be rezoned to RGZ where the maximum building height “should” not exceed 13.5 metres (4 storeys).

Figure 10 Barwon Water site preferred building heights and setbacks (DDO50 Map 2)



Submitter 3, while supporting the Amendment, recommended several changes to the exhibited DDO50 some of which were incorporated into Council’s Day 1 version. The submission also noted that although street wall height and building upper level setback controls are common they do not “align with the objective for best practice environmental management.” The submission added that:

...a lack of overshadowing or overshadowing potential, especially on Carr Street and that there is no technical justification for nominated preferred max building heights, street wall heights or setbacks.

Submitter 37 supported the Amendment but, among other things, recommended increasing the height limit to 10 storeys with a performance-based approach to approvals. Submitter 45 also supported the Amendment but requested additional discretionary guidance noting that “the absolute avoidance of any off-site impacts is not in keeping with the redevelopment objectives sought.”

Design and Development Overlay Schedule 54

Council submitted that DDO54 applied to the Moorabool Street Key Redevelopment Area between the railway line and Fyans Street. It added that the DDO54 responds to the surrounding urban context by applying different preferred maximum building heights and setback requirements along Moorabool Street (Figure 11). Council noted:

Residential properties adjoining the Moorabool Street DDO54 at the northern end close to the railway line and at the southern end along Fyans Street are identified as ‘Substantial Change Areas’ and are proposed to be rezoned to RGZ. DDO54 reflects these proposed higher densities on adjoining land by allowing the highest preferred maximum building height of 25m (7 storeys).

The GMHBA stadium in Kardinia Park to the west of Moorabool Street is a key built form feature of the area. DDO54 responds to this characteristic with a 22m (6 storeys) preferred maximum building height directly across from the stadium.

Figure 11 Building heights and setbacks - Moorabool Street Key Redevelopment Area

Submitter 1 was unclear how the setback requirements had been developed and how the requirement to consolidate sites would be applied. The submission stated that the DDO54 appeared to make development that did not consolidate land difficult.

Submitter 10 stated that building heights should be limited to 3 storeys and the level of development proposed would exacerbate an existing parking problem in residential streets.

Submitter 37 requested a more flexible approach to building heights in the precinct and to:

Expand the Moorabool Street Key Development Area to encompass the 'wedge' of land north of Lonsdale Street between Moorabool and Yarra Street. This area, devoid of heritage constraints, presents a natural extension to the Key Development Area, facilitating an attractive streetscape to bolster the intended strategic pedestrian link between the Station Precinct and Kardinia Park.

Submitter 43 stated that any redevelopment of Moorabool Street should ensure adequate parking to avoid spill over into residential streets and building heights should be reduced to 5 storeys to avoid overlooking. Submitter 45 made a similar submission on DDO50. Submitter 48 suggested that, due to their isolation, the two properties on the western side of Moorabool Street could have increased preferred height limits without any impact on surrounding properties.

(iv) Discussion

The proposed DDOs aim to facilitate development of higher density residential and associated ancillary uses to provide for the increased demand for housing in the precinct, while being respectful to the surrounding context.

Design and Development Overlay Schedule 50

DDO50 is part of the South Geelong Station Hub precinct and focuses on the former Barwon Water site. This is a significant and vacant redevelopment site in proximity to a major transport link. The key question before the Panel is not whether the site should be developed but what controls, if any, should apply to the site.

From this perspective the Panel supports Council's submission that the DDO50 strikes an appropriate balance between encouraging development and respecting the existing surrounding land uses and development. The Panel does not accept that there is any strategic basis to extend the RGZ4 further north along Bellerine Street and thereby encourage additional height on the key development site.

The Panel acknowledges that the heights and setbacks are discretionary and provide sufficient flexibility for alternative developments to be considered. The Panel accepts the modifications to the DDO50 proposed by Council as an appropriate response to the submissions received.

Design and Development Overlay Schedule 54

The juxtaposition of the east side of Moorabool Street with Kardinia Park on the west side provides the basis for the identification of the precinct as a key development site. The submissions supporting this approach are looking for more flexibility in the controls and those opposing it are concerned about the off-site impacts, particularly parking and overlooking.

From this perspective the Panel acknowledges that Council has attempted to balance these competing interests which is based on sound strategic work such as the Capacity Review. The Panel supports this approach and accepts Council's submission on the DDO54 as well as the post exhibition changes proposed by Council.

(v) Conclusions and recommendations

The Panel concludes:

- The proposed DDO50 and DDO54 controls are appropriate.
- The post exhibition changes to DDO50 and DDO54 proposed by Council are appropriate.

The Panel recommends:

- 7. Replace the Design and Development Overlay Schedule 50 with the Panel preferred version in Appendix F.**
- 8. Replace the Design and Development Overlay Schedule 54 with the Panel preferred version in Appendix G.**

Appendix A Submitters to the Amendment

No	Submitter
1	APCO Service Stations
2	B and K Nominees Pty Ltd ATF Bruce Warren Investment Trust
3	Barwon Water
4	Tract Begley Group
5	Renn Bogan
6	Kal Bogan
7	James Botten
8	Anica Buchter
9	Damien Chappell
10	Elise Chisholm
11	Joseph Condro
12	Michelle Cyganowski
13	Department of Transport and Planning
14	Judy Farago
15	Ross Forbes
16	Pan Yurong Fujian Lao Investments Pty Ltd T/A Man Bo Restaurant
17	Geromee Gard
18	Chris Gumley
19	Cheryl Harris
20	David Healey
21	Margaret Hehir
22	Homes Victoria
23	David and Kelly Hyland
24	Caitlin Jaques
25	Adam Jaques
26	Kardinia Picture Frames
27	Sean Keown
28	Gabrielle and Ron Ling
29	Rory Lynch
30	Luke Maguire
31	Barbara and Mary Mantzaris
32	Kate Negus

No	Submitter
33	Hakan Omer
34	Connor Parker
35	Jacob Peterson
36	James Powell
37	Property Council of Australia
38	Nick Roberts
39	Dale Roberts
40	Luke Scott
41	Douglas Showell
42	South Geelong Primary School
43	Andrew Steer
44	Dianne Toe
45	UDIA Victoria
46	Duplicate of submission 45
47	John Verikios
48	VicTrack
49	Mary White
50	Gary Wilson
51	Ewan Wymer
52	Carol Kenworthy (late submission)
53	Jennifer Bantow (late submission - verbal presentation at Hearing)

Appendix B Parties to the Panel Hearing

Party	Represented by
Greater Geelong City Council	Peter Smith Coordinator Strategic Implementation and Megan Quigley Strategic planner, who called expert evidence on: - Heritage from Helen Lardner of HLCD Pty Ltd.
Barwon Water	Tony Belcher
Department of Transport and Planning (Transport)	Jozef Vass
Jennifer Bantow	
Ross Forbes	

Appendix C Document list

No.	Date	Description	Provided by
2024			
1	4 Sep 2024	Directions Hearing notification	Planning Panels Victoria (PPV)
2	10 Sep 2024	Email advising Panel reconstituted with new members	PPV
3	4 Oct 2024	Panel Directions and Version 1 Hearing Timetable	PPV
4	16 Oct 2024	Version 2 Hearing Timetable and Distribution List	PPV
5	16 Oct 2024	Submitter location map	City of Greater Geelong (Council)
6	21 Oct 2024	Email from EPA to Panel regarding Ministerial Direction 19 response	Environment Protection Authority (EPA)
7	21 Oct 2024	EPA response to Draft Amendment C432ggee under Ministerial Direction 19 (25 August 2023)	EPA
8	21 Oct 2024	Email chain between Council and EPA regarding Ministerial Direction 19 response (17 April 2024)	EPA
9	24 Oct 2024	Email regarding EPA Ministerial Direction 19 response	PPV
10	28 Oct 2024	Part A submission, enclosing attachments: <ul style="list-style-type: none"> a) Appendix 1 - Ministerial Authorisation Letter b) Appendix 2 – Council Day 1 version of Clause 11.03 (tracked changes) c) Appendix 2 - Council Day 1 version of Clause 32.07 Schedule 4 (tracked changes) d) Appendix 2 - Council Day 1 version of Clause 43.02 Schedule 50 (tracked changes) e) Appendix 2 - Council Day 1 version of Clause 43.02 Schedule 54 (tracked changes) f) Appendix 2 - Council Day 1 version of Clause 72.08 Schedule (tracked changes) g) Appendix 2 - Council Day 1 version of HO1641 City South Heritage Area Heritage Design Guidelines (tracked changes) h) Appendix 2 - Council Day 1 version of HO1641 City South Heritage Area Statement of Significance (tracked changes) i) Appendix 2 - Council Day 1 version of HO2023 Kelvendon Statement of Significance (tracked changes) 	Council

No.	Date	Description	Provided by
		j) Appendix 2 - Council Day 1 version of HO2024 Kardinia Villa Statement of Significance (tracked changes)	
		k) Appendix 2 - Council Day 1 version of HO2025 Penlea Statement of Significance (tracked changes)	
		l) Appendix 3 - Background Document - South Geelong UDF Heritage Review (City of Greater Geelong, 2024)	
11	30 Oct 2024	Email advising withdrawal from the Hearing	APCO Service Stations Pty Ltd
12	31 Oct 2024	Version 3 Hearing Timetable and Version 2 Distribution List	PPV
13	1 Nov 2024	Expert witness report of Helen Lardner (heritage)	Council
14	7 Nov 2024	Part B Submission	Council
15	7 Nov 2024	Day 2 DDO50	Council
16	7 Nov 2024	Day 2 DDO54	Council
17	11 Nov 2024	Submission	Barwon Water
18	11 Nov 2024	Submission	Ross Forbes
19	12 Nov 2024	Submission	Department of Transport and Planning (Transport)
20	14 Nov 2024	Part C submission, enclosing attachments: <ul style="list-style-type: none"> a) Final preferred version of Clause 11.03 b) Final preferred version of Clause 32.07 Schedule 4 c) Final preferred version of Clause 43.02 Schedule 50 d) Final preferred version of Clause 43.02 Schedule 54 e) Final preferred version of Clause 72.08 Schedule f) Final preferred version of HO1641 City South Heritage Area Heritage Design Guidelines g) Final preferred version of HO1641 City South Heritage Area Statement of Significance h) Final preferred version of HO2023 Kelvendon Statement of Significance i) Final preferred version of HO2024 Kardinia Villa Statement of Significance j) Final preferred version of HO2025 Penlea Statement of Significance 	Council

No.	Date	Description	Provided by
		k) Final preferred version of zoning map	
		l) Final preferred version of Heritage Overlay map	
No number	13 Nov 2024	Verbal presentation (electronic copy not provided)	Jennifer Bantow

Appendix D Planning context

D:1 Planning policy framework

Council submitted that the Amendment is supported by various clauses in the Planning Policy Framework, which the Panel has summarised below.

Victorian planning objectives

The Amendment will assist in implementing State policy objectives set out in section 4 of the PE Act by:

- rezoning land in well located areas to facilitate higher densities while preserving historical values.
- encouraging affordable and social housing in well facilitated areas.
- providing improved public realm and access to the South Geelong Station.

Clause 2 (Municipal Planning Strategy)

The Amendment supports the MPS by:

- The Amendment supports and implements numerous policies within the Planning Policy Framework and State Policy. The most relevant policies are listed below:

Clause 11 (Settlement)

The Amendment supports Clause 11 by:

- Facilitating urban infill and residential growth in an orderly manner within an established well serviced area.
- 51.2. Implementing the SGUDF in line with the City's Settlement Strategy 2020.
- 51.3. Providing opportunities for the consolidation, redevelopment and intensification of existing urban areas while considering neighbourhood character, landscaping, natural hazards, potential environmental concerns and service limitations.
- 51.4. Acknowledging the adequacy of residential land supply in the municipality, and the role of South Geelong as an identified urban growth location.

Clause 13 (Environmental Risks and Amenity)

The Amendment supports Clause 13 by:

- Applying the EAO on land proposed to be rezoned to allow sensitive uses that has been identified as potentially contaminated.
- Protecting the internal residential amenity of new buildings from external noise sources such as trains, commercial activities and public spaces.

Clause 15 (Built Environment and Heritage)

The Amendment supports Clause 15 by:

- implementing the recommendations of the UDF including the introduction of built form controls to 'Key Development Areas' and the HO to newly recognised sites of significance.

Clause 16 (Housing)

The Amendment supports Clause 16 by:

- Providing for a range of housing types close to existing services.
- Providing for the provision of social and affordable housing.

- Rezoning land identified as being in the Increased Housing Diversity Area to the RGZ.

Clause 17 (Economic Development)

The Amendment supports Clause 17 by:

- ensuring commercial use is directed to appropriate locations and provide a net community benefit in relation to their viability, accessibility and efficient use of infrastructure.

Clause 18 (Land Use and Transport)

The Amendment supports Clause 18 by:

- Ensuring future development does not encroach on existing transport infrastructure.
- Coordinating the proposed amendment for land use changes with improvements to public transport, in particular, the current upgrades to the South Geelong Train Station.
- Supporting urban development that makes jobs and services more accessible.

D:2 Other relevant planning strategies and policies

i) G21 Geelong Regional Growth Plan

The G21 Regional Growth Plan provides broad direction for land use and development across the Geelong region, as well as more detailed planning frameworks for the key regional centres of Geelong, Colac and Torquay.

Council submitted that the Amendment supports the G21 Regional Growth Plan because:

- it encourages infill development in Central Geelong
- provides for housing diversity.

ii) South Geelong Urban Design Framework

The purpose of the SGUDF is:

- To assist in implementing the City's Settlement Strategy by investigating the area for high density development potential.
- To leverage opportunities for the Rail Duplication and Station upgrade project being undertaken by the Department of Transport.
- To prepare objectives, strategies, policies to support the vision for South Geelong which will filter through to a Planning Scheme Amendment and be included in the existing Strategic Framework.
- To provide background information to support detailed design guidelines and planning provisions for future development.
- To identify priority projects and an implementation plan to identify community needs, development potential.

Council submitted that the Amendment implements the SGUDF.

D:3 Planning scheme provisions

A common zone and overlay purpose is to implement the Municipal Planning Strategy and the Planning Policy Framework.

i) Zones

Part of the land is in the General Residential Zone. The purposes of the Zone are:

- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Part of the land is in the Residential Growth Zone. The purposes of the Zone is:

- To provide housing at increased densities in buildings up to and including four storey buildings.
- To encourage a diversity of housing types in locations offering good access to services and transport including activity centres and town centres.
- To encourage a scale of development that provides a transition between areas of more intensive use and development and other residential areas.
- To ensure residential development achieves design objectives specified in a schedule to this zone.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

ii) Overlays

Part of the land is subject to the Heritage Overlay. The purposes of the Overlay are:

- To conserve and enhance heritage places of natural or cultural significance.
- To conserve and enhance those elements which contribute to the significance of heritage places.
- To ensure that development does not adversely affect the significance of heritage places.
- To conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.

Part of the land is subject to the DDO. The purpose of the Overlay are:

- To identify areas which are affected by specific requirements relating to the design and built form of new development.

Part of the land is subject to the PAO. The purposes of the Overlay are:

- To identify land which is proposed to be acquired by a Minister, public authority or municipal council.
- To reserve land for a public purpose and to ensure that changes to the use or development of the land do not prejudice the purpose for which the land is to be acquired.
- To designate a Minister, public authority or municipal council as an acquiring authority for land reserved for a public purpose.

D:4 Ministerial Directions, Planning Practice Notes and guides

Ministerial Directions

The Explanatory Report discusses how the Amendment meets the relevant requirements of Ministerial Direction 11 (Strategic Assessment of Amendments) and *Planning Practice Note 46: Strategic Assessment Guidelines*, August 2018 (PPN46). That discussion is not repeated here.

Ministerial Direction – The Form and Content of Planning Schemes:

All schedules and consequential changes to local planning provisions in the Amendment have been prepared in accordance with applicable style guides, formatting and layout as specified in the Ministerial Direction - The Form and Content of Planning Schemes under section 7(5) of the Act.

Ministerial Direction No. 1 – Potentially Contaminated Land:

The Amendment complies with Ministerial Direction No. 1 – Potentially Contaminated Land. Council sought assistance from Landserv to undertake a site history review as set out in Appendix 2 of Planning Practice Note 30 – Potentially contaminated land (PPN30). Landserv’s report recommends applying the EAO to specific properties where sensitive uses would be permitted following rezoning to the MUZ. Council is satisfied that none of the other properties proposed to be rezoned are potentially contaminated.

Ministerial Direction No. 11 – Strategic Assessment of Amendments:

The Amendment complies with Ministerial Direction No. 11 and has been prepared in accordance with the strategic assessment requirements of this direction, which ensures a comprehensive strategic evaluation of the Amendment and the outcomes it produces.

Ministerial Direction No. 15 – Planning Scheme Amendment Process:

The Amendment complies with Ministerial Direction No. 15 (Planning Scheme Amendment Process) under section 12 of the Act.

Ministerial Direction No. 19 – EPA advice:

The Amendment complies with Ministerial Direction No. 19 in seeking the EPA views on potentially contaminated land as identified in Landserv’s report.

Council’s primary focus in dealing with potentially contaminated land is on sites that are being rezoned from a zone that doesn’t allow (or allows a limited range of) sensitive uses to a zone that allows more or all sensitive uses. As such the main focus is:

- Land along Moorabool Street opposite Kardinia Park that is being rezoned from C2Z to MUZ.
- The Barwon Water site on Carr Street that is being rezoned from PUZ1 to MUZ

Five properties were assessed as “High Potential for potentially contaminated land” and proposed for an EAO. The EPA noted a lack of sufficient information in the Landserv report to definitively determine if all land proposed for rezoning is potentially contaminated.

The Amendment implements the SGUDF which is a long-term plan for the area. Therefore, it is difficult or inappropriate to meet environmental audit system requirements at the Amendment stage. Applying the EAO allows the properties to continue to be used in their current capacity and is consistent with PPN30 in deferring the requirements to undertake site-specific environmental assessments to future developers as part of their development applications.

Planning Practice Notes

An EAO is proposed to apply to the land in Moorabool Street in accordance with PPN30. The EAO will ensure that land can continue to be used in its current capacity and defers the application of a PRSA or environmental audit to future developers as per Clause 45.03-1.

The proposed Amendment makes proper use of the VPP and PPN01 by including all heritage places in the Schedule at Clause 43.01 of the planning scheme, providing a Statement of Significance for each Heritage Overlay place, and heritage design guidelines for HO1641 at Clause 72.04.

Appendix E Panel preferred version of Clause 11.03

11.03 PLANNING FOR PLACES

31/07/2018
VC148

11.03-1S Activity centres

03/02/2022
VC199

Objective

To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.

Strategies

Build up activity centres as a focus for high-quality development, activity and living by developing a network of activity centres that:

- Comprises a range of centres that differ in size and function.
- Is a focus for business, shopping, working, leisure and community facilities.
- Provides different types of housing, including forms of higher density housing.
- Is connected by transport.
- Maximises choices in services, employment and social interaction.

Support the role and function of each centre in the context of its classification, the policies for housing intensification, and development of the public transport network.

Undertake strategic planning for the use and development of land in and around activity centres.

Give clear direction on preferred locations for investment.

Encourage a diversity of housing types at higher densities in and around activity centres.

Reduce the number of private motorised trips by concentrating activities that generate high numbers of (non-freight) trips in highly accessible activity centres.

Improve access by walking, cycling and public transport to services and facilities.

Support the continued growth and diversification of activity centres to give communities access to a wide range of goods and services, provide local employment and support local economies.

Encourage economic activity and business synergies.

Improve the social, economic and environmental performance and amenity of activity centres.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria (Department of Environment, Land, Water and Planning, 2017)*
- *Apartment Design Guidelines for Victoria (Department of Environment, Land, Water and Planning, 2021)*
- *Precinct Structure Planning Guidelines (Victorian Planning Authority, 2021)*

11.03-1L Activity centres in Greater Geelong07/07/2022
C417ggee**Objectives**

To support the role and function of centres in the Geelong Retail Centre Hierarchy.

To support continued diversification of retail centres over time

General Strategies

Encourage a mix of retail, office, cafes, higher density housing, education and community facilities to locate within centres, but particularly in Regional (Central Geelong), Sub-regional and Town Centres.

Support accommodation uses above ground level floor space in retail and activity centres subject to provision of parking and access requirements to meet the needs of users.

Direct entertainment and cultural activities to Central Geelong and support local events in other centres.

Encourage the redevelopment of car parking areas for commercial and residential uses where adequate car parking to meet the needs of existing and future uses can be achieved.

Support increased intensity and vertical growth of centres to encourage expansion and to reduce the need to develop new centres.

Retail hierarchy strategies

Direct new retail development to existing centres, consistent with the role and function described in the Geelong Retail Centre Hierarchy at Clause 02.03-1.

Support the development of discount department stores in Central Geelong and sub-regional centres over lower order centres.

Encourage development that supports a diversity of retail forms across the hierarchy.

Ensure planned centres in growth area are consistent with the role, function, size and type of centre as set out in the Geelong Retail Centre Hierarchy at Clause 02.03-1.

Residential Growth Zone land strategies

Ensure that retail use and development on land within the Residential Growth Zone:

- Has a functional relationship with an existing activity centre.
- Is designed and sited to operate without amenity impacts to neighbouring residents.

Commercial and industrial land strategies

Encourage retail use and development in industrial areas only if associated with an industrial use occurring on the land or where it will meet the needs of people employed in the area.

Encourage use and development that will provide for strategic employment land.

Ensure that use or development for a new or expanded supermarket-based centre within the Commercial 2 Zone or Industrial 3 Zone:

- Does not have a significant economic impact on a nearby centre(s) identified within the Geelong Retail Centre Hierarchy at Clause 02.03-1.
- Provides a net community benefit.

Restricted retail uses strategies

Direct restricted retail use and development to nominated restricted retail precincts as identified in the Geelong Retail Centre Hierarchy at Clause 02.03-1

Support the development of smaller scale, higher density restricted retail uses such as homewares within activity centres.

Policy document

Consider as relevant:

- *City of Greater Geelong Retail Strategy 2020-2036* (City of Greater Geelong and SGS Economics and Planning, August 2020)

11.03-2S04/05/2022
VC210**Growth Areas****Objective**

To locate urban growth close to transport corridors and services and provide efficient and effective infrastructure to create sustainability benefits while protecting primary production, major sources of raw materials and valued environmental areas.

Strategies

Concentrate urban expansion into growth areas that are served by high-capacity public transport.

Implement the strategic directions in the Growth Area Framework Plans.

Encourage average overall residential densities in the growth areas of a minimum of 15 dwellings per net developable hectare, and over time, seek an overall increase in residential densities to more than 20 dwellings per net developable hectare.

Deliver timely and adequate provision of public transport and local and regional infrastructure and services, in line with a preferred sequence of land release.

Provide for significant amounts of local employment opportunities and in some areas, provide large scale industrial or other more regional employment generators.

Create a network of mixed-use activity centres that are high quality, well designed and create a sense of place.

Provide a diversity of housing type and distribution.

Retain unique characteristics of established areas impacted by growth.

Protect and manage natural resources and areas of heritage, cultural and environmental significance.

Create well planned, easy to maintain and safe streets and neighbourhoods that reduce opportunities for crime, improve perceptions of safety and increase levels of community participation.

Develop Growth Area Framework Plans that will:

- Include objectives for each growth area.
- Identify the long term pattern of urban growth.
- Identify the location of broad urban development types, for example activity centre, residential, employment, freight centres and mixed use employment.
- Identify the boundaries of individual communities, landscape values and, as appropriate, the need for discrete urban breaks and how land uses in these breaks will be managed.
- Identify transport networks and options for investigation, such as future railway lines and stations, freight activity centres, freeways and arterial roads.
- Identify the location of open space to be retained for recreation, and/or biodiversity protection and/or flood risk reduction purposes guided and directed by regional biodiversity conservation strategies.
- Show significant waterways as opportunities for creating linear trails, along with areas required to be retained for biodiversity protection and/or flood risk reduction purposes.
- Identify appropriate uses for constrained areas, including quarry buffers.

Develop precinct structure plans consistent with the *Precinct Structure Planning Guidelines* (Victorian Planning Authority, 2021) approved by the Minister for Planning to:

- Establish a sense of place and community.
- Create greater housing choice, diversity and affordable places to live.
- Create highly accessible and vibrant activity centres

- Provide for local employment and business activity.
- Provide better transport choices.
- Respond to climate change and increase environmental sustainability.
- Deliver accessible, integrated and adaptable community infrastructure.

Policy documents

Consider as relevant:

- Any applicable Growth Area Framework Plans (Department of Sustainability and Environment, 2006)
- *Precinct Structure Planning Guidelines* (Victorian Planning Authority, 2021)
- *Ministerial Direction No. 12 – Urban Growth Areas*

11.03-3S

31/07/2018
VC148

Peri-urban areas

Objective

To manage growth in peri-urban areas to protect and enhance their identified valued attributes.

Strategies

Identify and protect areas that are strategically important for the environment, biodiversity, landscape, open space, water, agriculture, energy, recreation, tourism, environment, cultural heritage, infrastructure, extractive and other natural resources.

Provide for development in established settlements that have capacity for growth having regard to complex ecosystems, landscapes, agricultural and recreational activities including in Warragul-Drouin, Bacchus Marsh, Torquay-Jan Juc, Gisborne, Kyneton, Wonthaggi, Kilmore, Broadford, Seymour and Ballan and other towns identified by Regional Growth Plans as having potential for growth.

Establish growth boundaries for peri-urban towns to avoid urban sprawl and protect agricultural land and environmental assets.

Enhance the character, identity, attractiveness and amenity of peri-urban towns.

Prevent dispersed settlement and provide for non-urban breaks between urban areas.

Ensure development is linked to the timely and viable provision of physical and social infrastructure.

Improve connections to regional and metropolitan transport services.

11.03-4S Coastal settlement20/03/2023
VC229**Objective**

To plan for sustainable coastal development.

Strategies

Plan and manage coastal population growth and increased visitation so that impacts do not cause unsustainable use of coastal resources.

Support a network of diverse coastal settlements that provide for a broad range of housing types, economic opportunities and services.

Identify a clear settlement boundary around coastal settlements to ensure that growth in coastal areas is planned and coastal values are protected. Where no settlement boundary is identified, the extent of a settlement is defined by the extent of existing urban zoned land and any land identified on a plan in the planning scheme for future urban settlement.

Minimise linear urban sprawl along the coastal edge and ribbon development in rural landscapes.

Protect areas between settlements for non-urban use.

Limit development in identified coastal hazard areas, on ridgelines, primary coastal dune systems, shorelines of estuaries, wetlands and low-lying coastal areas, or where coastal processes may be detrimentally impacted.

Encourage the restructure of old and inappropriate subdivisions to reduce development impacts on the environment.

Ensure a sustainable water supply, stormwater management and sewerage treatment for all development.

Minimise the quantity and enhance the quality of stormwater discharge from new development into the ocean, bays and estuaries.

Prevent the development of new residential canal estates.

Policy documents

Consider as relevant:

- *G21 Regional Growth Plan* (Geelong Region Alliance, 2013)
- *Gippsland Regional Growth Plan* (Victorian Government, 2014)
- *Great South Coast Regional Growth Plan* (Victorian Government, 2014)
- *Marine and Coastal Policy* (Department of Environment, Land, Water and Planning, 2020)
- *Marine and Coastal Strategy* (Department of Environment, Land, Water and Planning, 2022)
- *Siting and Design Guidelines for Structures on the Victorian Coast* (Department of Environment, Land, Water and Planning, 2020)

11.03-5S

30/04/2021
VC185

Distinctive areas and landscapes

Objective

To recognise the importance of distinctive areas and landscapes to the people of Victoria and protect and enhance the valued attributes of identified or declared distinctive areas and landscapes.

Strategies

Recognise the unique features and special characteristics of these areas and landscapes.

Implement the strategic directions of approved Localised Planning Statements and Statements of Planning Policy.

Integrate policy development, implementation and decision-making for declared areas under Statements of Planning policy.

Recognise the important role these areas play in the state as tourist destinations.

Protect the identified key values and activities of these areas.

Enhance conservation of the environment, including the unique habitats, ecosystems and biodiversity of these areas.

Support use and development where it enhances the valued characteristics of these areas.

Avoid use and development that could undermine the long-term natural or non-urban use of land in these areas.

Protect areas that are important for food production.

Policy documents

Consider as relevant:

- *Bellarine Peninsula Localised Planning Statement* (Victorian Government, 2015)
- *Macedon Ranges Statement of Planning Policy* (Victorian Government, 2019)
- *Mornington Peninsula Localised Planning Statement* (Victorian Government, 2014)
- *Yarra Ranges Localised Planning Statement* (Victorian Government, 2017)

11.03-5R The Great Ocean Road region20/003/2023
VC229**Objective**

To manage the sustainable development of the Great Ocean Road region.

Strategies

Protect public land and parks and identified significant landscapes in the Great Ocean Road region.

Ensure development responds to the identified landscape character of the area.

Manage the growth of towns by:

- Respecting the character of coastal towns and promoting best practice design for new development.
- Directing urban growth to strategically identified areas.

Manage the impact of development on catchments and coastal areas.

Manage the impact of development on the environmental and cultural values of the area.

Improve the management of access and transport by:

- Managing the Great Ocean Road for tourism and regional access.
- Enhancing the safety and travelling experience of the Great Ocean Road.
- Improving the safety and operational performance of the inland routes from the Princes Highway to the Great Ocean Road.
- Providing travel choices to and in the region.

Encourage sustainable tourism and resource use by:

- Developing a network of tourism opportunities throughout the region.
- Supporting tourism activities that provide environmental, economic and social benefits.
- Supporting the land use and transport needs of key regional industries including tourism.
- Using natural resources with care.

Policy documents

Consider as relevant:

- *Marine and Coastal Policy* (Department of Environment, Land, Water and Planning, 2020)
- *Marine and Coastal Strategy* (Department of Environment, Land, Water and Planning, 2022)
- *The Great Ocean Road Region Landscape Assessment Study* (Department of Sustainability and Environment, 2003)
- *The Great Ocean Road Region - A Land Use and Transport Strategy* (Department of Sustainability and Environment, 2004)

11.03-6S Regional and local places

31/07/2018
VC148

Objective

To facilitate integrated place-based planning.

Strategies

Integrate relevant planning considerations to provide specific direction for the planning of sites, places, neighbourhoods and towns.

Consider the distinctive characteristics and needs of regional and local places in planning for future land use and development.

11.03-6L-01 Bellarine Peninsula07/07/2022
C417ggee**Policy application**

This policy applies to land shown on the following maps forming part of this clause:

- St Leonards Structure Plan Map
- Portarlington Structure Plan Map
- Indented Head Structure Plan Map
- Ocean Grove Structure Plan Map
- Leopold Structure Plan Map
- Barwon Heads Structure Plan Map
- Drysdale/Clifton Springs Structure Plan Map
- Jetty Road Urban Growth Plan Map
- Point Lonsdale Structure Plan Map.

Objectives

To ensure development responds to the identity and preferred character of the individual township in which it is located.

To provide attractive and sustainable industrial, commercial, retail, agricultural and tourism development in designated locations, to service the wider Bellarine community.

Retain the land surrounding each town as rural breaks and for its agricultural and scenic values.

St Leonards strategies

Support a mix of retail, commercial, community and entertainment uses within the town centre.

Encourage development that respects the coastal landscape setting of St Leonards by:

- Providing reasonable sharing of views of the coast and foreshore.
- Promoting contemporary design that reflects the existing scale, setbacks, spacing, forms and materials of the buildings in the locality.
- Ensuring that development allows for the protection of significant vegetation or planting around buildings and has minimal impact on roadside vegetation.

Support the on-going management, enhancement and sensitive development of the foreshore, Salt Lagoon Wildlife Reserve and Edwards Point State Faunal Reserve.

Protect the scenic qualities of Murradoc Hill and Swan Bay.

Support the development of a focal building, comprising retail and tourist related activities, at the south west corner of Murradoc and Bluff Roads.

Support the development of Growth Areas 1 and 2 identified on the St Leonards Structure Plan map.

Facilitate development of a community facility including an Early Years Learning Centre, preferably at 1345 Murradoc Road.

Integrate the town centre and pier-foreshore area.

Portarlington strategies

Support the on-going management, enhancement and sensitive development of the foreshore, including a place making project for the main activity node, Point Richards Flora and Fauna Reserve.

Encourage development that respects the coastal landscape setting of Portarlington by:

- Providing reasonable sharing of views of the coast and foreshore, where a view has been identified in an overlay.
- Promoting contemporary design that reflects the existing scale, setbacks, spacing, forms and materials of the buildings in the locality.
- Ensuring that development allows for the protection of significant vegetation or planting around buildings and has minimal impact on roadside vegetation.

Support the establishment of a Portarlington Community Hub.

Support the redevelopment of the Country Fire Authority fire station.

Support the integration of the Portarlington town centre and pier-foreshore area.

Support the development of the development opportunity sites including:

- Development of a focal building at 22-34 Newcombe Street, Portarlington.
- Redevelopment of the rear of 40-42 Newcombe Street in a manner that is sympathetic to and maintains the heritage context of the site.
- Redevelopment of land between Newcombe Street, Fenwick Street, Harding Street and Brown Street to improve pedestrian connectivity by creating a two-way rear lane system and additional shop front activation.

Support development in the Portarlington town centre incorporating accommodation uses above ground level retail floor space, where such development meets all parking and access requirements.

Support the use and development of 33-41 Mercer Street, Portarlington for aged care living.

Indented Head strategies

Encourage development that respects the coastal landscape setting of Indented Head, by:

Providing reasonable sharing of views of the coast and foreshore, where a view has been identified in an overlay.

Promoting contemporary design that reflects the existing scale, setbacks, spacing, forms and materials of the buildings in the locality.

Ensuring that development allows for the protection of significant vegetation or planting around buildings and has minimal impact on roadside vegetation.

Ocean Grove strategies

Contain urban development within the defined settlement boundary identified on the Ocean Grove Structure Plan map.

- Encourage development that respects the coastal landscape setting of Ocean Grove, by:
Providing reasonable sharing of views of the coast and foreshore.
- Promoting contemporary design that reflects the existing scale, setbacks, spacing, forms and materials of the buildings in the locality.
- Ensuring that development allows for the protection of significant trees or planting around buildings and has minimal impact on roadside vegetation.

Support the continued development of the north-east growth area as shown on the Structure Plan map.

Encourage a range of accommodation and housing options, including aged care within and adjacent to the Town Centre and other activity centres.

Ensure development avoids detrimental impacts on environmental assets including the coast, Buckley Park Foreshore Reserve, Goandra Estate, Ocean Grove Nature Reserve, Begola Wetlands, Barwon River/Lake Connewarre and the Lake Victoria Wetlands.

Support the Town Centre as the primary retail centre for Ocean Grove by providing for a range of retail, business and accommodation uses.

Ensure that the supply of car parking in the Town Centre increases commensurate with parking demands from development.

Preserve The Terrace as the potential long-term arterial route through the Town Centre.

Support the development of a new Neighbourhood Activity Centre, including community uses, in the north-east growth area adjacent to Grubb Road.

Support the development of the restricted retail and industrial precincts within the north-east growth area.

Support the development of a strategic footpath network for the town that provides permeable and safe routes to key destinations and services.

Encourage developments to assist in the establishment of a safe bicycle-pedestrian path network around the town connecting the foreshore, river, nature reserve, and Grubb, Banks and Bonnyvale Roads as shown on the Structure Plan map.

Encourage development to contribute to the improvement of open spaces and key pedestrian links.

Encourage a range of appropriately scaled and located tourism accommodation and activities, including opportunities for revitalisation of existing uses.

Support further development of existing caravan parks and accommodation uses in residential areas, particularly those close to the beach and river, to provide a broader range of accommodation type and mix.

Encourage a range of appropriately scaled tourism related activities on the rural periphery of the town that are complementary to the environmental and rural setting.

Support the duplication of Grubb Road in a manner that preserves significant roadside vegetation, provides an attractive town entry, safe crossing points, pedestrian/cycle paths and undergrounding of powerlines.

Support the provision of community and social infrastructure commensurate with population growth.

Leopold strategies

Support Leopold as a Sub-Regional Retail Activity Centre for the Bellarine Peninsula, that also provides local community, recreational and employment facilities to Leopold's residents.

Retain Leopold as an 'urban island', supporting urban growth contained within the settlement boundary to preserve the surrounding rural hinterland.

Support the development of the Ash Road Growth Area and other areas identified for residential development on the Leopold Structure Plan map.

Support increased housing densities around the Sub-Regional Retail Activity Centre and the neighbourhood shopping centres at Ash Road and Dorothy Street.

Encourage the northerly expansion of the Sub-Regional Retail Activity Centre, ensuring any development integrates with the existing centre and surrounding community facilities, and enhances its appearance and functionality.

Support the local convenience role of the Ash Road and Dorothy Street neighbourhood shopping centres, whilst restricting any future expansion of these centres.

Support the development of Council's Kensington Road Community Hub to provide a wide range of community, health, education and civic services/facilities.

Encourage the creation of an additional local mixed-use centre on the south east corner of Bellarine Highway and Melaluka Road. Any redevelopment of this site could accommodate restaurants, convenience shops, offices and residential development.

Provide public open space in residential areas to cater for the passive and active recreation needs of the community.

Facilitate an improved transport network that includes better traffic movements, pedestrian and cyclist linkages and public transport options.

Protect environmentally sensitive areas including Lake Connemara and Reedy Lake from detrimental impacts of development.

Barwon Heads strategies

Maintain a compact urban form and avoid outward sprawl by ensuring that urban development does not occur outside of the defined settlement boundary shown on the Barwon Heads Structure Plan map.

Protect the unique character of Barwon Heads as a coastal village located within a sensitive environment and significant landscape setting.

Protect the very low density residential character of the Warrenbeen Court area to ensure that development has minimal impact on the indigenous vegetation and landscape character of the area.

Reinforce the Hitchcock Avenue shopping centre as the focus of retail activity in Barwon Heads.

Restrict new retail development within the existing town centre and discourage the use of land for industry and warehouse uses.

Support the development of Stage 3 of the 13th Beach Resort as a focus for golf that excludes residential development and provides net environmental benefits.

Facilitate the upgrading of the Barwon Heads Village Park and foreshore reserves in accordance with established master plans.

Protect existing street trees and where possible informal landscaping in streets.

Support development of tourist accommodation around the Barwon Heads town centre, including improvement of accommodation diversity.

Drysdale/Clifton Springs strategies

Contain urban development within the defined settlement boundary identified on the Drysdale/Clifton Springs Structure Plan map.

Support the development of the Jetty Road Urban Growth Area and other areas identified for residential development on the Structure Plan map.

Reinforce the Drysdale town centre as the primary retail centre including the development of an additional supermarket on the south side of Murradoc Road.

Provide for the expansion of the Drysdale town centre to the east along Murradoc Road.

Locate future service business or industrial development in the identified precinct along Murradoc Road extending to the Drysdale Bypass.

Design development opposite or close to the Drysdale Bypass to minimise back fencing as viewed from the Bypass.

Co-locate and integrate future education, community and recreation facilities to enhance their accessibility and to maximise joint use wherever possible.

Develop the Council owned Palmerston Street site and the Drysdale Regional Community and Cultural Hub for community and recreation purposes.

Locate development of short-term tourist accommodation at the Curlewis Golf Course at the eastern end of the course close to the Jetty Road Urban Growth Area.

Facilitate additional bicycle and pedestrian opportunities throughout the townships including new footpaths and bicycle lanes.

Support the creation of consolidated parking areas in the town centre.

Point Lonsdale strategies

Support low-scale tourism opportunities on designated land identified on the Point Lonsdale Structure Plan map.

Support development that strengthens the township's coastal village character and landscape setting by requiring an architectural and urban design response that includes:

- Low scale forms.
- Articulation (materials, openings or features such as decks, balconies, wide eaves or canopies). Contemporary design.
- Use of materials such as timber, corrugated iron, weatherboard or light coloured render.
- Limited site coverage and provision of front and side setbacks that reflect existing neighbourhood patterns and provide opportunities for maintenance and planting of native coastal and indigenous vegetation.

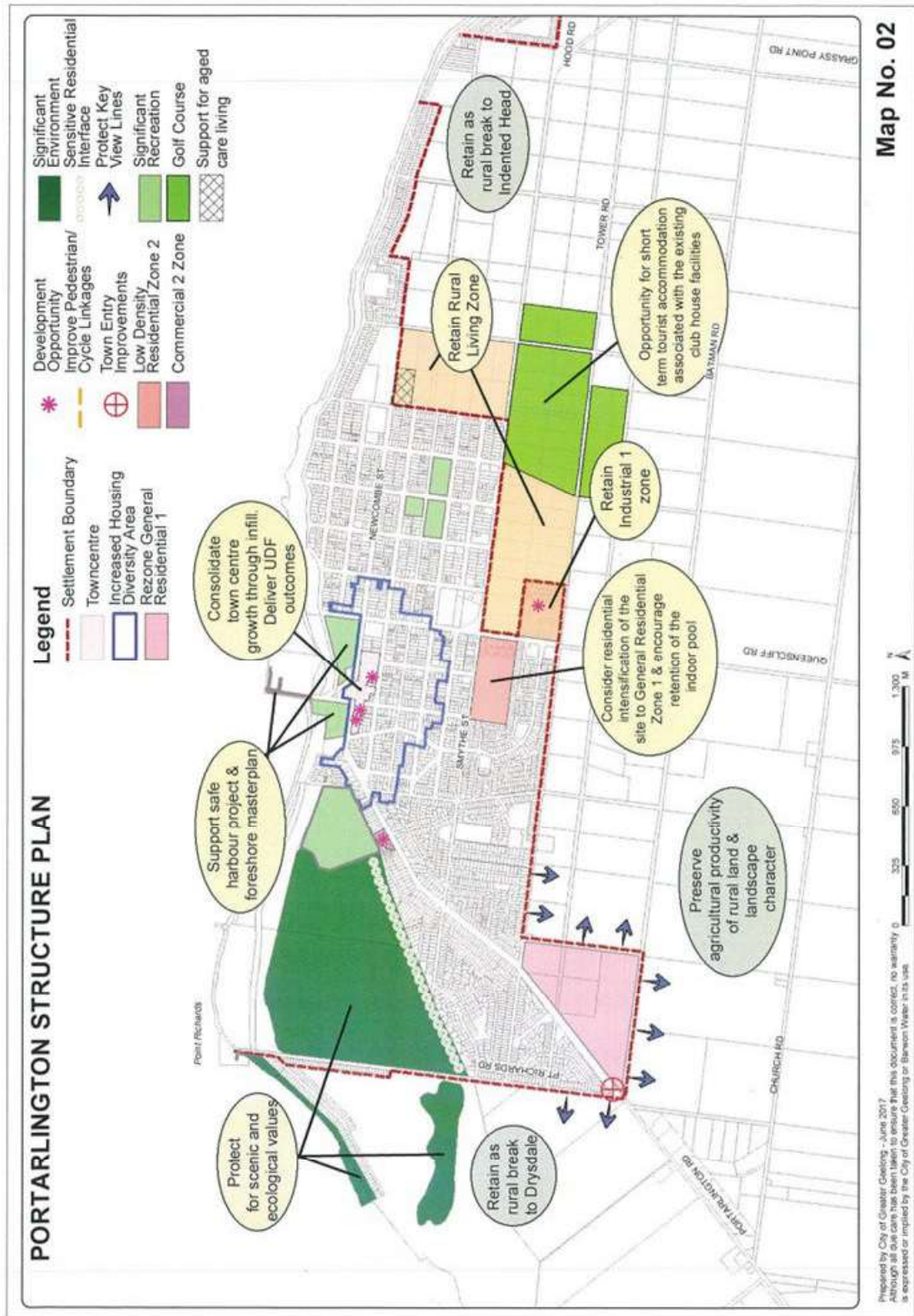
Ensure that urban street works associated with development contribute to the implementation of the identified primary and secondary pedestrian/cycle routes and are designed to complement the informal coastal streetscape character.

Policy documents

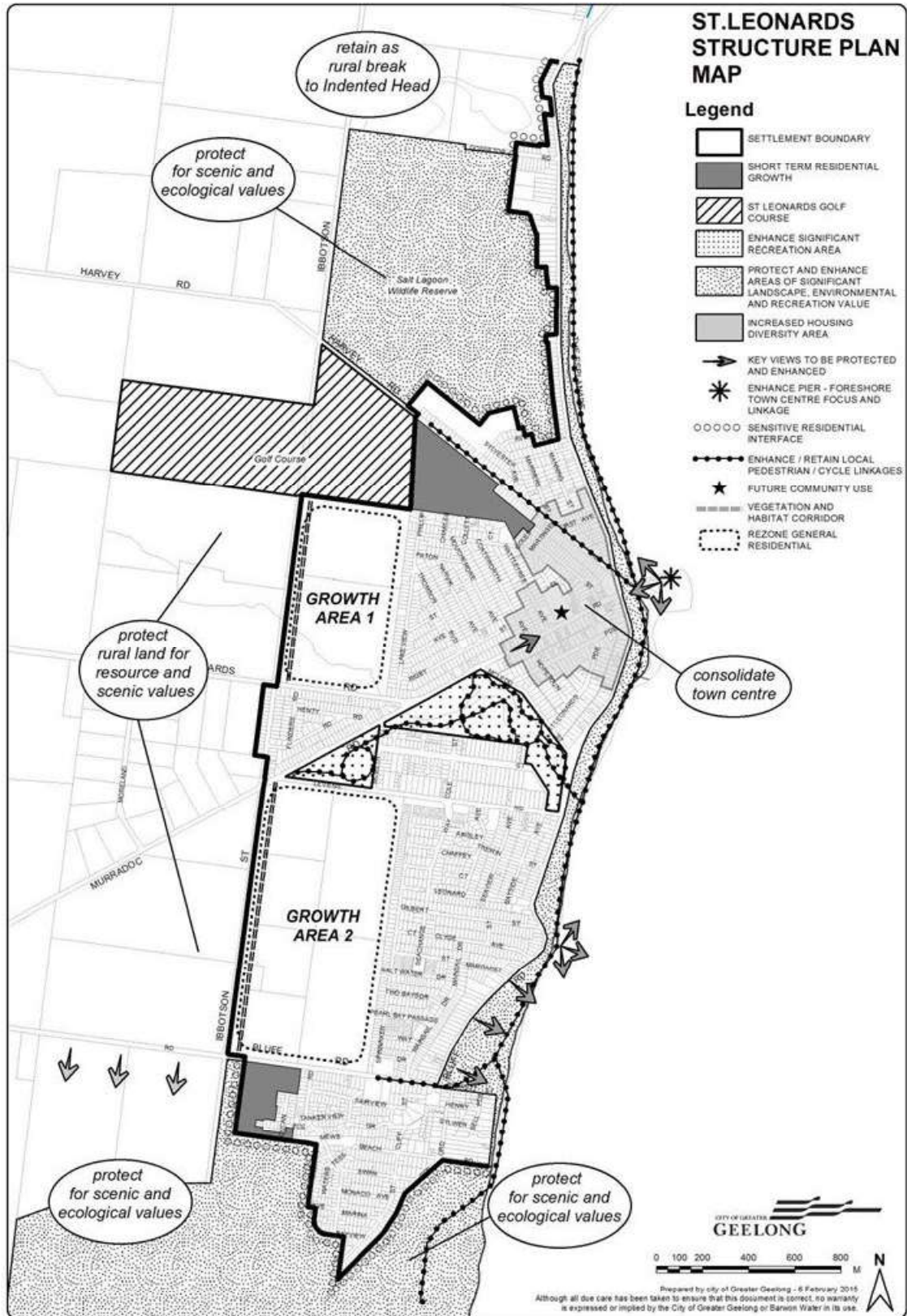
Consider as relevant:

- *Bellarine Peninsula Strategic Plan* (City of Greater Geelong, 2006)
- *Ocean Grove Structure Plan* (City of Greater Geelong, 2015 amended 2016)
- *Ocean Grove Urban Design Framework* (City of Greater Geelong, 2014)
- *Portarlington Structure Plan* (City of Greater Geelong, 2016 amended 2017)
- *Indented Head Structure Plan* (City of Greater Geelong, 2016)
- *St Leonards Structure Plan* (City of Greater Geelong, 2015)
- *Leopold Structure Plan* (City of Greater Geelong, 2011 amended 2013)
- *Leopold Urban Design Framework* (City of Greater Geelong, 2011)
- *Barwon Heads Structure Plan* (City of Greater Geelong, 2010)
- *Drysdale Clifton Springs Structure Plan* (City of Greater Geelong, 2010)
- *Jetty Road Urban Growth Plan* (City of Greater Geelong, 2007 amended 2008)
- *Coastal Spaces Landscape Assessment Study- Municipal reference document* (Planisphere, 2006)
- *Point Lonsdale Structure Plan* (Planisphere, 2009 amended 2011).
- *Drysdale Urban Design Framework* (City of Greater Geelong, 2012)
- *Drysdale Bypass Access Management Strategy* (VicRoads, 2017)
- *City of Greater Geelong Settlement Strategy* (City of Greater Geelong, August 2020)

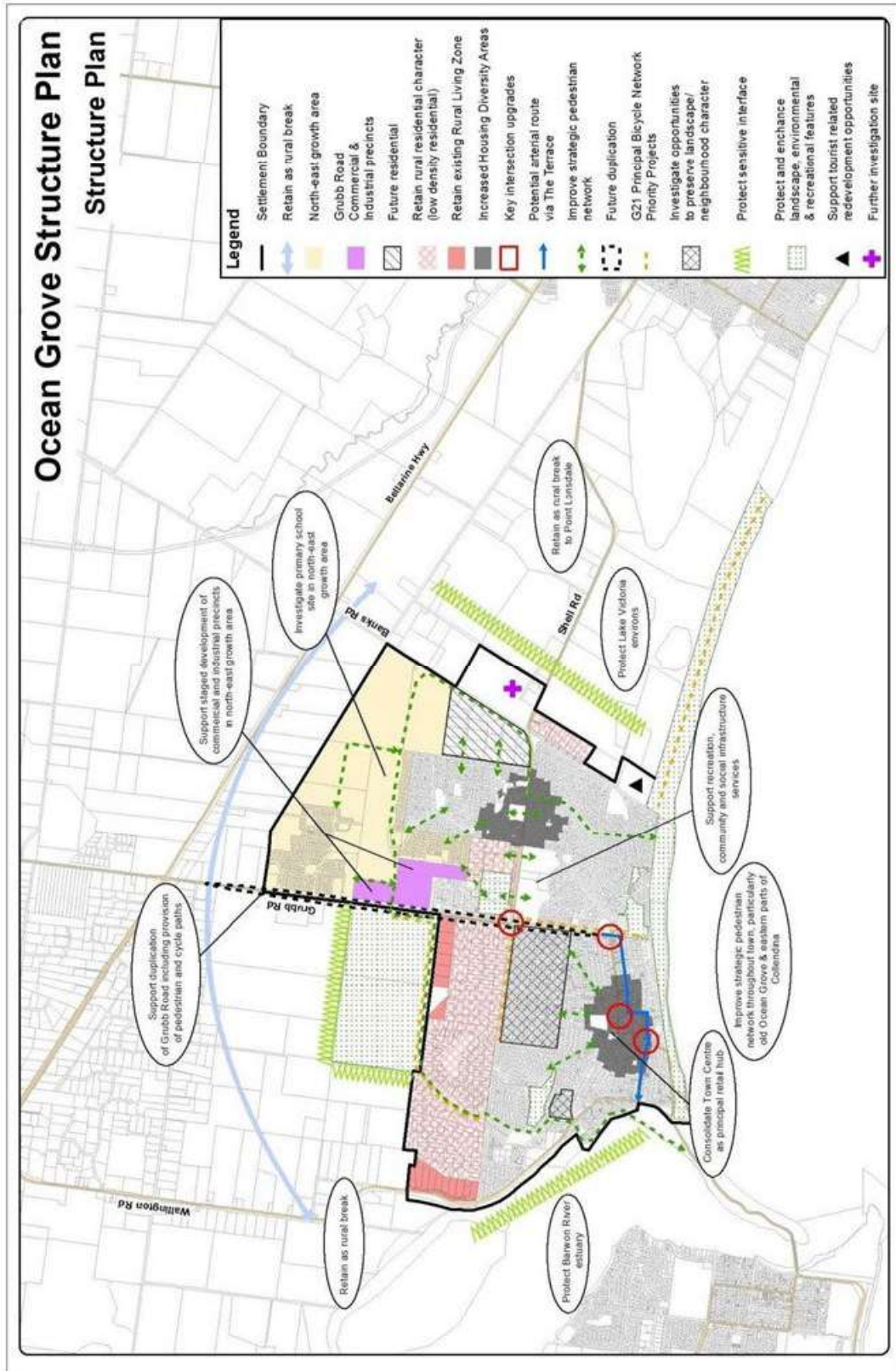
Portarlington Structure Plan Map



Indented Head Structure Plan Map



Ocean Grove Structure Plan Map

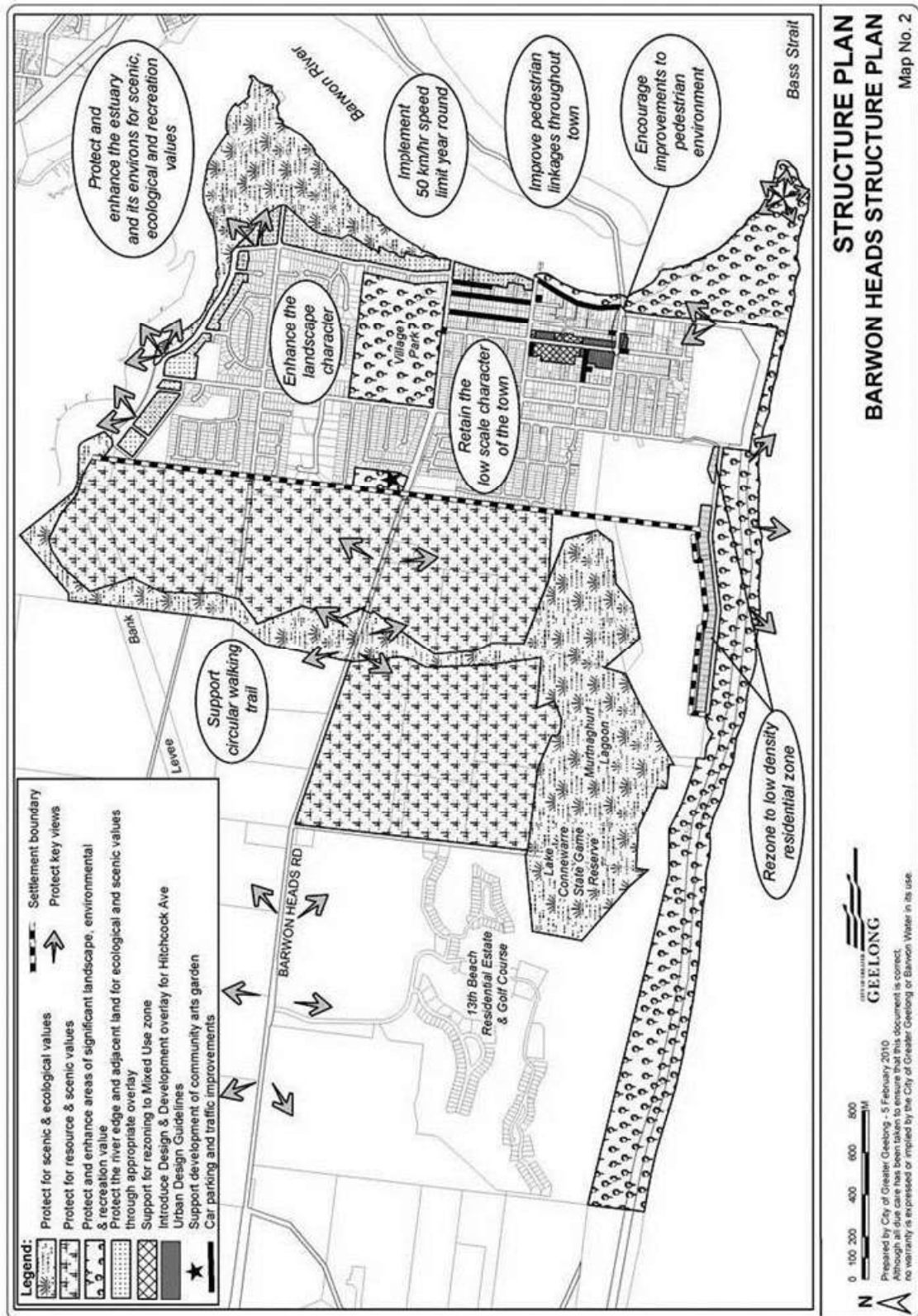


Prepared by City of Greater Geelong - August 2016
Although all data herein has been taken from the best available sources, the City of Greater Geelong or Shire of Barwon Water in its use

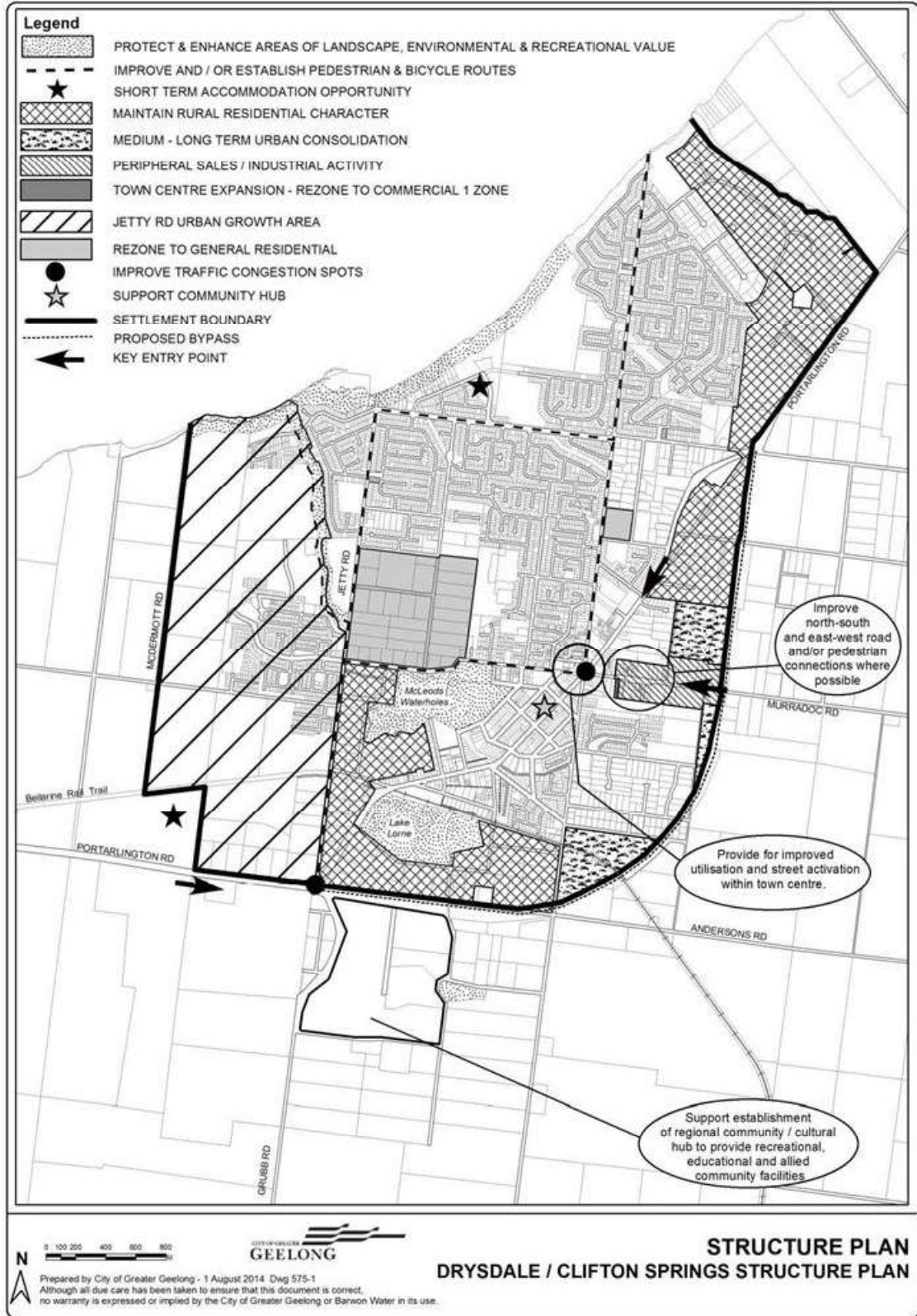
Leopold Structure Plan Map



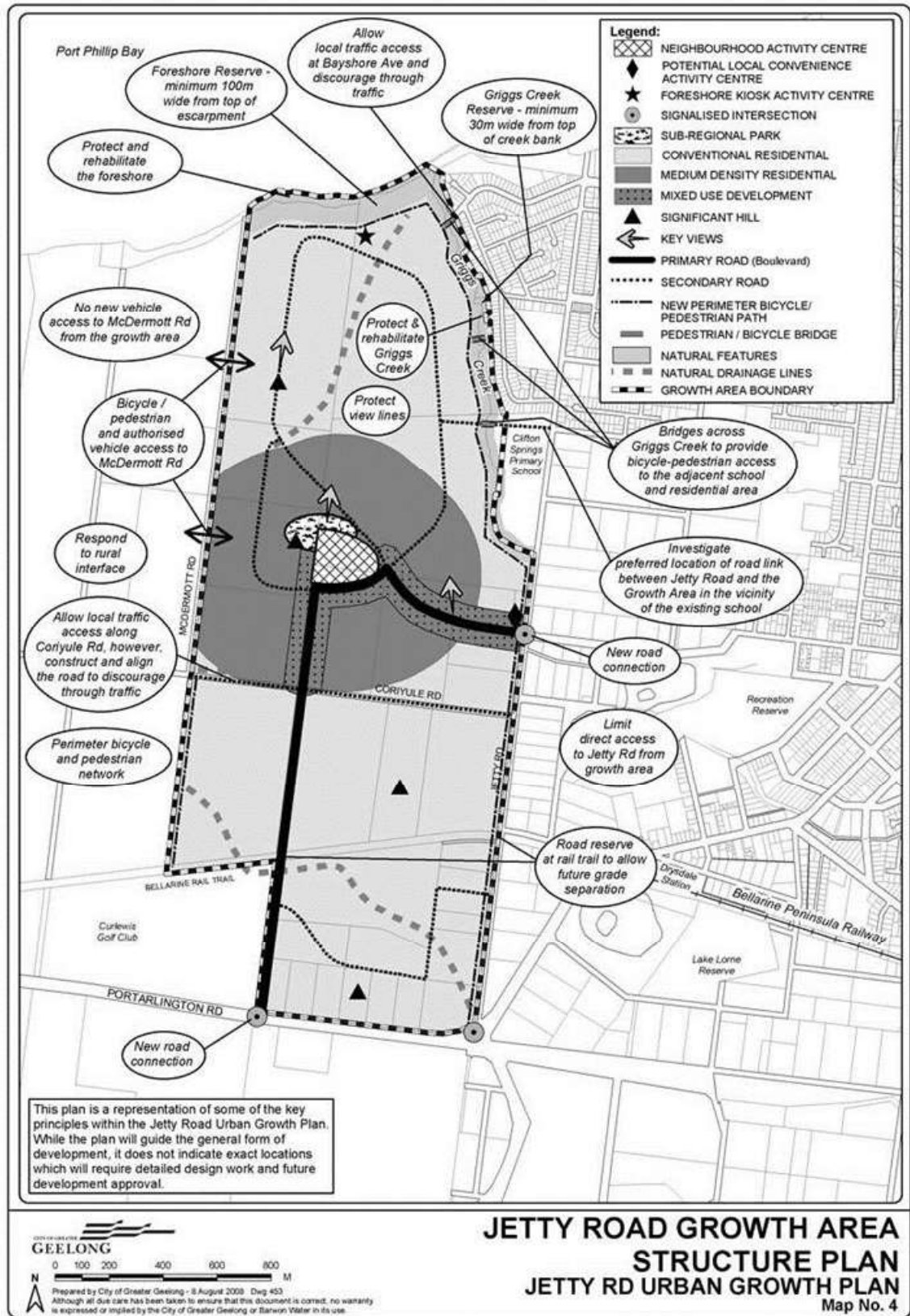
Barwon Heads Structure Plan Map



Drysdale/Clifton Springs Structure Plan Map



Jetty Road Urban Growth Plan Map



Point Lonsdale Structure Plan Map



Township Structure Plan

<p>Legend</p> <ul style="list-style-type: none"> Existing public open space and golf course Coastal dunes and vegetation Community infrastructure Queenscliffe Coastal Management Plan Area Buckley Park Management Plan Area Railway line, possible new station and interchange/parking area Point Lonsdale Settlement Boundary 	<ul style="list-style-type: none"> Minimal change residential areas Residential growth areas Potential residential growth area subject to an amendment and EES Rezone for tourist accommodation / activity Land with environmental constraints Primary pedestrian & cycle route Potential expansion of Golf Course subject to an amendment and EES 	<ul style="list-style-type: none"> Encourage revegetation to coastal dune edge Significant entry points Local shop Neighbourhood activity centre Proposed vegetation protection Opportunities for appropriately low scaled and designed tourism accommodation

11.03-6L-02 Corio Norlane07/07/2022
C417ggee**Policy application**

This policy applies to land identified in the Corio Norlane Framework Plan Map.

Objective

To facilitate the urban renewal of the Corio Norlane area.

Strategies

Encourage increased housing diversity areas around the Corio Sub-Regional Activity Centre, Bell Post Shopping Centre, North Shore Station and local shopping centres.

Encourage the redevelopment of school sites subject to closure for residential development (where not required for a community use in need of a larger site).

Support the ongoing improvement and expansion of the Corio Sub-Regional Activity Centre, and the development of retail, offices, cafes/restaurants and health services around the centre.

Improve the role, function and presentation of retail activity centres through measures such as supporting a diverse mix of uses and the use of public art to enhance their presentation and create a sense of place.

Encourage the development of the Waterworld Precinct as a multi-purpose community precinct that includes dedicated arts and culture spaces within a “landmark” building.

Facilitate the redevelopment and rezoning of land no longer required for commercial use in local shopping centres for housing and other compatible uses.

Limit intensification of residential development within the North Shore residential area close to heavy industrial land uses.

Support the development of health and support services, including potential expansion of facilities within the Corio ‘heart’ area.

Improve the amenity and safety of local reserves and parks and consider for trade poorly configured parks that do not contribute to the permeability of neighbourhoods.

Encourage the upgrade of ageing drainage infrastructure to better manage impacts resulting from stormwater flooding.

Facilitate the provision of a safe and attractive active transport network to access destinations in Corio and Norlane.

Policy document

Consider as relevant:

- *Corio Norlane Structure Plan (City of Greater Geelong and Department of Planning and Community Development, 2012)*

Expiry

This clause expires three years from the gazettal of Amendment C417ggee.

Corio Norlane Framework Plan Map



11.03-6L-03 Moolap-Point Henry

07/07/2022
C417ggee

Policy application

This policy applies to land identified in the Moolap Coastal Strategic Framework Plan Map.

Objective

To facilitate the transformation of Moolap-Point Henry into a safe, sustainable, integrated, connected, accessible and attractive place to live, work and visit.

To encourage development that integrates with and provides an interface to adjoining precincts and surrounding areas, including the settlement break between eastern Geelong and the Bellarine Peninsula.

To encourage land use and development that maintains or enhances environmental values and responds to environmental risks.

Strategies

Support residential and tourism use and development in the Point Henry Precinct, including medium-high density residential development, tourist accommodation and facilities, and complementary commercial and community facilities, water access and boating infrastructure.

Designate the Wetlands and Former Saltworks Precinct for conservation purposes and public open space, with complementary infrastructure and tourism, research and culture/heritage facilities.

Support residential use and development at a range of densities in the Moolap East Precinct, with complementary community, retail and commercial facilities, open space and transport links following the relocation of Dow Chemical and site remediation.

Support industrial activities and commercial businesses in the Southern Precinct to provide local services and employment.

Site and design buildings, infrastructure and coastal facilities to minimise impacts on the environmental, landscape, cultural heritage and biodiversity values of the wetlands, coastal environs and Moolapio grasslands.

Site and design land use and development to respond to potential risks from environmental hazards and climate change, including flooding, acid sulfate soils, sea level rise, coastal erosion and retreat, ground contamination and groundwater salinity.

Provide landscaping and interface treatments to Portarlington Road and Clifton Avenue that are sympathetic to the rural landscapes and green break between Moolap and Leopold.

Provide a movement network that provides for convenient and safe access and is integrated with the existing network and surrounding areas.

Plan for drainage and stormwater management to take a whole of catchment approach that maintains water quality and includes water sensitive urban design.

Encourage environmentally sustainable and water sensitive design that responds to the land's context, natural features and constraints.

Include landscaping and interface treatments that avoid adverse impacts between industry and existing and future residential uses and conservation areas.

Encourage urban and building design that responds to the coastal setting and establishes a unique character.

Facilitate the necessary clean-up, rehabilitation and remediation of former industrial uses and landfill sites.

Support interim land use and development, consistent with the zoning of the land, where the ultimate land use and development outcomes for the land are not prejudiced

Support the continuation of Dow Chemical in the Moolap East Precinct until this industry chooses to relocate and the precinct transitions to residential.

Policy guidelines

Consider as relevant:

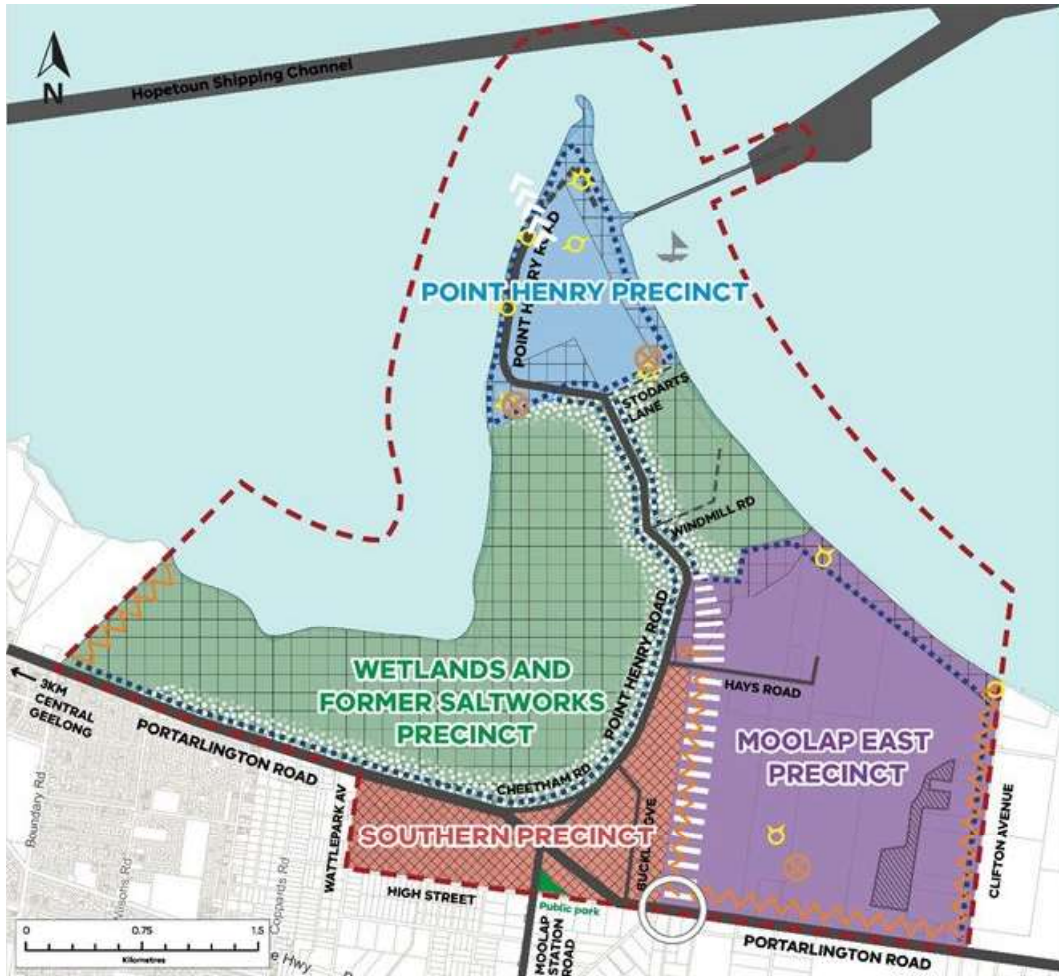
- Whether interim land use and development proposals would prejudice the ultimate transition to future land use, having regard to:
 - The expected timing of the transition to future land use.
 - The potential adverse impacts on the environment including contamination.
 - Potential land use conflicts, adverse amenity impacts or other off-site impacts.
 - The need for provision and ongoing maintenance of new infrastructure.
 - The extent, lifecycle and implications of significant investment in infrastructure, services or buildings.
 - Whether any conditions are required to limit the extent, nature and expiry of proposals that may prejudice the future land use directions.
- Whether the use or development is consistent with the provisions of the *Mines (Aluminium Agreement) Act 1961*, where applicable.

Policy document

Consider as relevant:

- *Moolap Coastal Strategic Framework Plan* (Department of Environment, Land, Water and Planning, 2019)

Moolap Coastal Strategic Framework Plan Map



11.03-6L-04 West Fyans - Fyans Street07/07/2022
C458ggee**Policy application**

This policy applies to the land identified in the West Fyans – Fyans Street Precinct Structure Plan Area Map.

General strategy

Ensure that development enhances the visual relationship with public open space areas, including the Barwon River.

Open space precinct 1 strategies

Support community and recreation use and development.

Support tourist-related use and development in identified locations as shown on the West Fyans – Fyans Street Precinct Structure Plan Area Map.

Design and site development to enhance the open space qualities of the area including the Barwon River Corridor.

Business park precinct 2 strategy

Encourage uses that contribute to the development of the business park including manufacturing, office and active recreation uses.

Residential interface precinct 3A strategies

Direct commercial uses to West Fyans Street including office and retail development that could include housing at upper levels.

In the Residential and Mixed Use Zones support the development of housing, including medium density housing, in a manner which responds to the existing housing stock's modest scale, built form and setbacks.

Within Industrial 1 zoned areas support a range of activities complementary to the long-term mixed-use vision for the area including office, service industry and leisure and recreation activities.

Discourage industrial uses that do not meet Clause 53.10 buffer requirements.

Mixed use precinct 3B strategies

Within the Commercial Node support a mix of accommodation and commercial activity including retail, food and drink premises, office, community and recreation uses.

In the West Fyans Street area, west of Pakington Street encourage a mix of office and retail uses and opportunities for upper level housing.

In the West Fyans Street area, east of Pakington Street encourage restricted retail and other commercial uses.

Encourage medium to high density residential development in the remainder of the precinct with opportunities for small-scale non-residential uses such as arts and crafts, leisure and recreation, home-based offices and medical offices.

Design development to provide for or improve pedestrian and bicycle linkages to the Rutland Street extension connecting to Pakington Street.

Mixed use precinct 4 strategies

Within the Commercial Node support a mix of accommodation and commercial activity including retail, food and drink premises, office, community and recreation uses.

Limit non-residential uses outside the Industrial 1 Zone and the Commercial Node to areas with convenient access to and from the river environment

Encourage medium to high density residential development in the remainder of the precinct.

Within Industrial 1 zoned areas support a range of activities complementary to the long-term mixed-use vision for the area including office, service industry, leisure and recreation activities.

Discourage industrial uses that do not meet Clause 53.10 buffer requirements.

Promote the adaptive reuse of heritage buildings including the former heritage woollen mills.

Design development to provide for or improve pedestrian and bicycle linkages to the river environment and the Rutland Street extension connecting to Pakington Street.

Business precinct 5 strategy

Maintain this precinct as the focus for restricted retail premises.

Industrial precinct 6 strategies

Discourage the use of land for offensive industries and restricted retail activity.

Encourage the use of land for warehousing, service and non-offensive industries and office uses.

Mixed use - high density residential precinct 7 strategies

Direct restricted retail uses to Moorabool Street and larger commercial uses to Moorabool and Fyans Streets at ground level and encourage housing at upper levels.

Encourage medium to high density residential uses south of Little Fyans Street with higher density housing adjacent to Barwon Terrace.

Support a range of office, warehousing, non-offensive industrial and service industry uses north of Little Fyans Street.

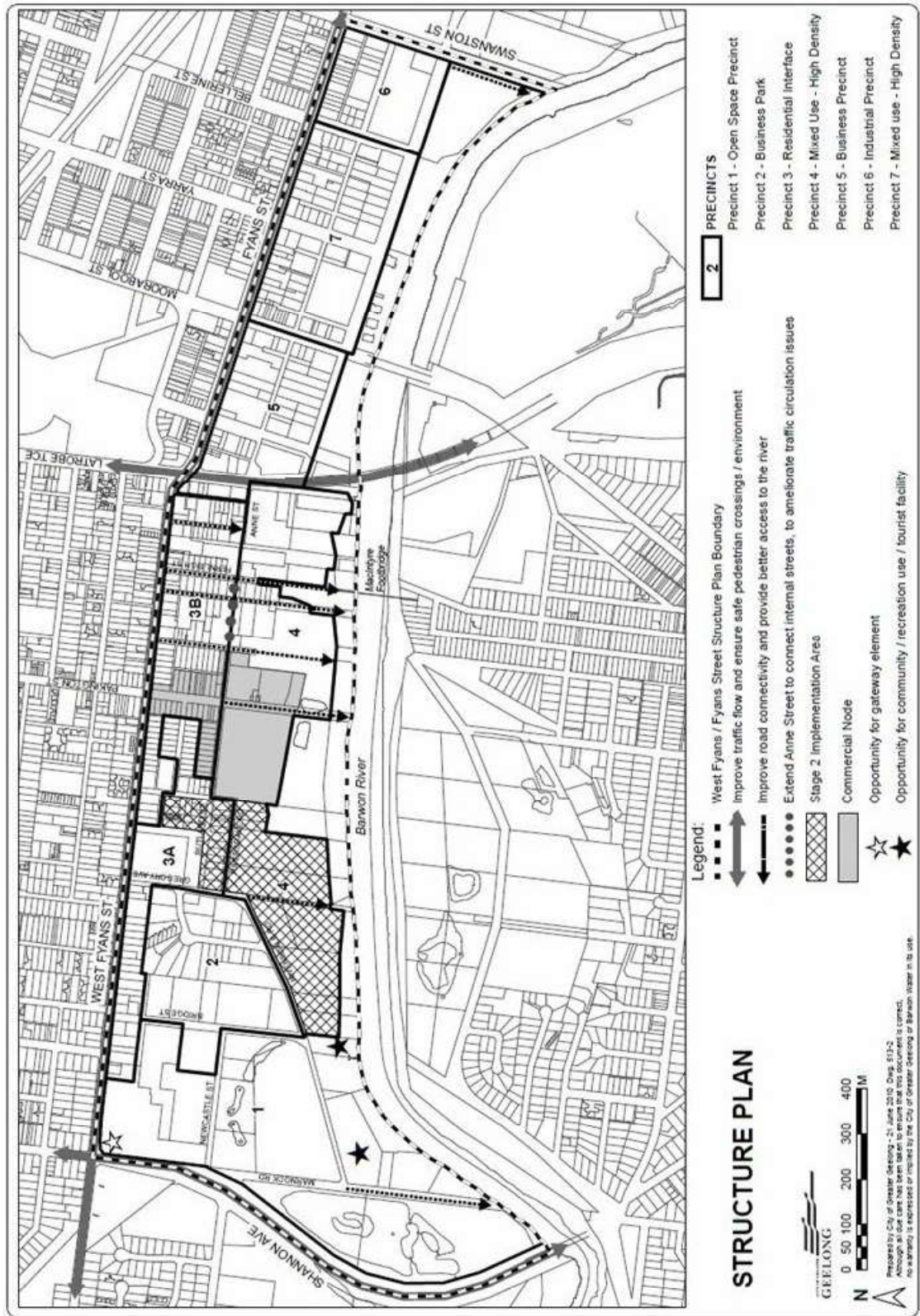
Support commercial uses including food and drink premises, offices, arts and crafts and leisure and recreation activities at ground and first floor levels adjacent to Barwon Terrace and Yarra Street.

Policy document

Consider as relevant:

- *West Fyans –Fyans Street Precinct Structure Plan* (City of Greater Geelong, 2009)

West Fyans – Fyans Street Precinct Structure Plan Area Map



11.03-6L-05 South Geelong**Policy application**

This policy applies to the land identified in South Geelong Urban Design Framework Area and Key Development Areas Map.

Objectives

- To promote diverse, high-quality, sustainable urban environments whilst respecting identified neighbourhood character and heritage values.
- To create green streets and public spaces with safe and accessible environments for pedestrians and cyclists and water sensitive urban design.
- To minimise the visual impact of car parking.

Strategies

- Improve circulation and way finding features for cyclists and pedestrians.
- Ensure all development, streets and car parking incorporate significant canopy tree planting, landscaping and water-sensitive urban design to increase tree numbers in public and private realms.
- Support the reuse/re purpose of heritage buildings, particularly corner buildings within the General Residential Zone for commercial uses.

Key Development Areas – Moorabool Street and Station Hub**Objective**

To encourage medium and higher density development with a diverse mix of housing (including affordable housing) and ground level retail, commercial and community uses that service the needs of the local community and visitors.

Moorabool Street Strategies**Public Domain**

Ensure entrances and paths to public spaces are designed to cater for all people including those with mobility difficulties.

Street Network and Access

~~Discourage private vehicle use by designing~~ [Design](#) streets for slow circulation speeds, ~~giving priority to other modes at intersections~~ and ~~constraining provision~~ [support the reduction](#) of private vehicle parking.

Support the development of safe pedestrian and cyclists' crossings on Moorabool Street, particularly at Lonsdale and Foster Street intersections.

Support the widening of Lamb Place to allow for rear loading vehicle access to development sites.

Land Use

Support residential uses and limit the number of buildings used solely for commercial purposes, except for properties adjacent to the railway line.

Support active uses adjoining street corners, public plazas and around heritage buildings.

Building Form and Layout

Support consolidation of lots to maximise development potential, ensuring equitable development opportunities on adjacent lots.

Ensure a transition of building height and an appropriate interface to residential properties to the

east of Moorabool Street.

Support a reduction in, or shared car parking space for ~~residential~~ development.

Station Hub Strategies

General

Support the redevelopment and transition of the South Geelong Station Hub into a transit orientated community hub.

Encourage shared car parking through the provision of a multi deck car park or an alternative car parking arrangement

Land Use

Support a mix of commercial and community land uses including retail, small offices, childcare, supermarket, food and drink premises on the ground floor near the station, which service the local area while continuing to meet the needs of station users.

Support high density residential development.

Support the development of a public plaza adjacent to the station.

Built Form and Layout

Support centre median car parking along Lonsdale and Bellerine Streets adjacent to the Station Hub.

Support a wider footpath and verge opposite 40-44 Lonsdale Street to increase public realm, street planting and to help reduce visual bulk from development.

Minimise the impact from overshadowing on residential properties from the multi deck car park.

Support building heights of 3 to 5 storeys on the south side of the South Geelong Station.

Encourage the development of a main street through the southern side of the station.

Movement networks

~~Provide directional signage to clearly mark the start and finish of the Bellerine Rail Trail.~~

~~Support an upgrade to the Bellerine/Lonsdale Street intersection to improve pedestrian and vehicle safety.~~

Support improved pedestrian and bicycle connections through and to the station hub.

Support the development of a pedestrian bridge over the railway line, connecting Bellerine Street ensuring access at either side of the station hub.

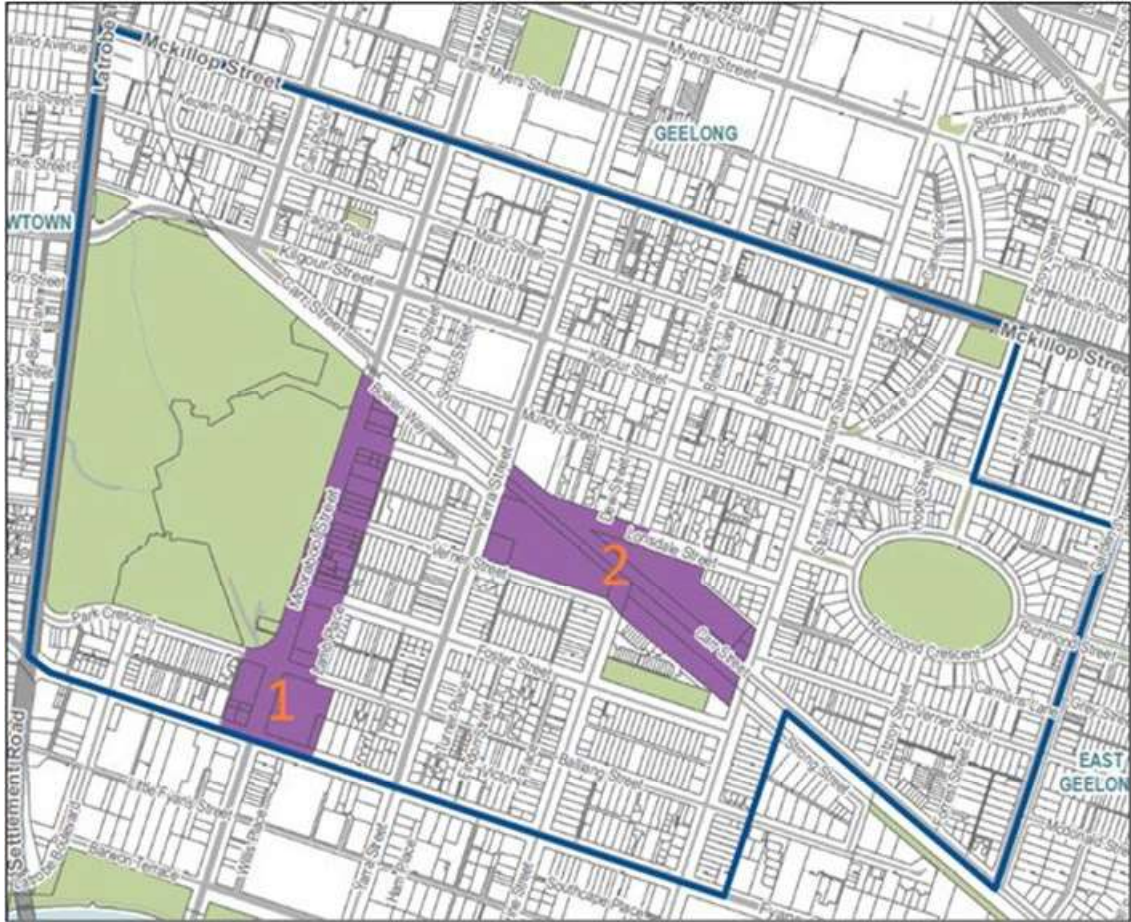
~~Support the provision of a bus stop accommodating additional bus routes improving access to the South Geelong Station Hub and surrounding suburbs.~~

Policy Document

Consider as relevant:

- *South Geelong Urban Design Framework (City of Greater Geelong, 2022)*

South Geelong Urban Design Framework Area and Key Development Areas Map



Key Development Areas

1. Moorabool Street
2. Station Hub

Appendix F Panel preferred version of Schedule 50 to Clause 43.02 Design and Development Overlay

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Proposed C432ggee

SCHEDULE 50 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO50**

40-44 LONSDALE STREET, 146 SWANSTON STREET & 51 CARR STREET SOUTH GEELONG

1.0

--/--/---
Proposed C432ggee

Design objectives

To develop an ecologically sustainable, transit orientated precinct that incorporates best practice environmental management.

To support a mix of high-quality high and medium density built form that has an appropriate interface to adjacent streets and creates a landmark building fronting the station plaza north of the railway line.

To create high-quality landscaped and safe public spaces that ensure a visual connection across the railway line at Bellerine Street, celebrates the beginning of the Bellarine Rail Trail and delivers a legible and coherent street structure.

To improve pedestrian connections within and around the subject site and contribute to improved street environments resulting from the closure and redirection of Carr Street.

To protect the internal ~~residential~~ amenity of ~~new buildings~~ all land uses sensitive to noise by limiting noise transmission and provide acoustic measures to protect from ~~external noise sources~~ current and potential noise generating sources such as train and public spaces.

2.0

--/--/---
Proposed C432ggee

Buildings and works

The following buildings and works requirements apply to an application to construct a building or construct or carry out works.

General requirements

Development should be generally in accordance with Map 1 to this schedule.

Support the development of a second pedestrian link over the railway line along the Bellerine/Carr Street alignment generally in accordance with Map 3 to this schedule.

Building height

Development should not exceed the preferred maximum building heights as shown in Table 1 and Map 2 to this schedule.

The preferred maximum building height does not include architectural features, masts and building services including plant rooms, air conditioning, lift overruns, structures associated with roof top gardens, decks and communal outdoor spaces and their ancillary facilities or enclosed stairwells provided that the following criteria are met:

- Not more than 50% of the roof area is occupied by equipment (other than solar panel or greening);
- The equipment is located to minimise additional overshadowing and reduce visual impact;
- The equipment does not exceed the preferred maximum height limit by more than 3.6 metres; and
- The equipment and screening is integrated into the design of the building to the satisfaction of the responsibly authority.

~~Development should meet the following minimum floor to floor dimensions:~~

- ~~▪ 4 metres at ground level~~
- ~~▪ 3.2–3.5 metres for residential and non-residential uses in the levels above~~

Figure 2: Parcel B fronting Lonsdale Street and Carr Street **TO BE REPLACED**

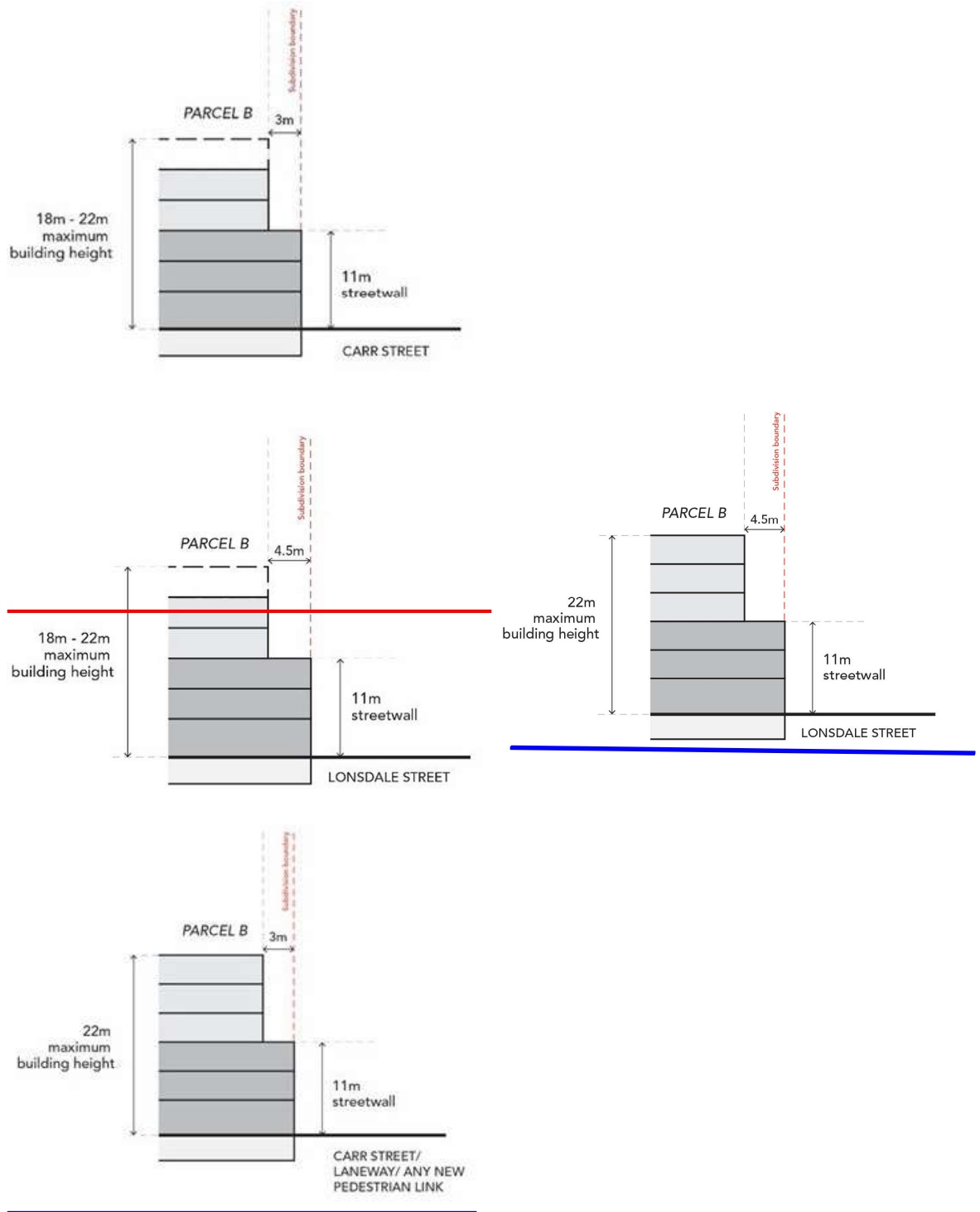


Figure 3: Setback to existing laneway for Parcel C ~~TO BE REPLACED~~

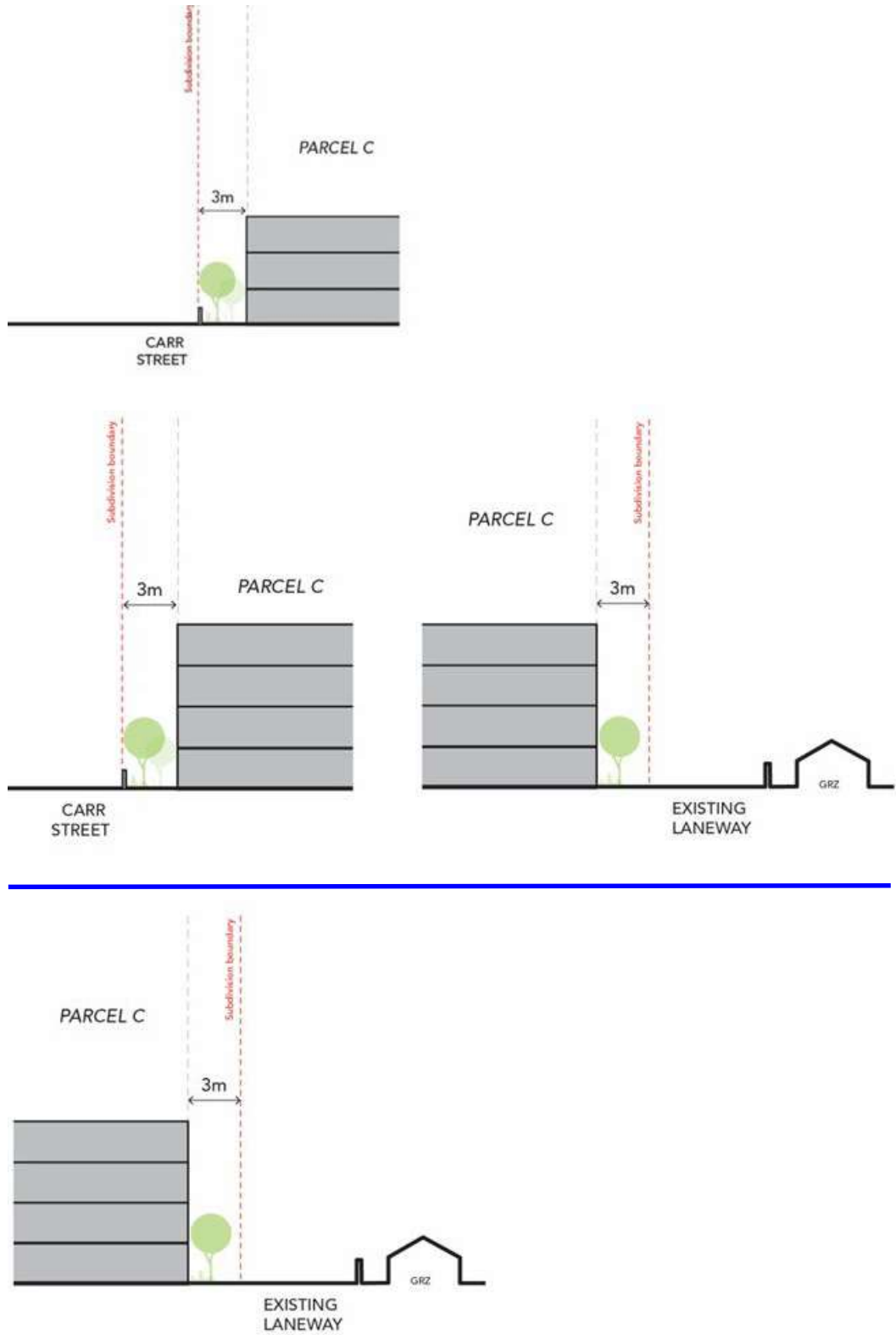


Figure 4: Setback to new shared street **TO BE REPLACED**

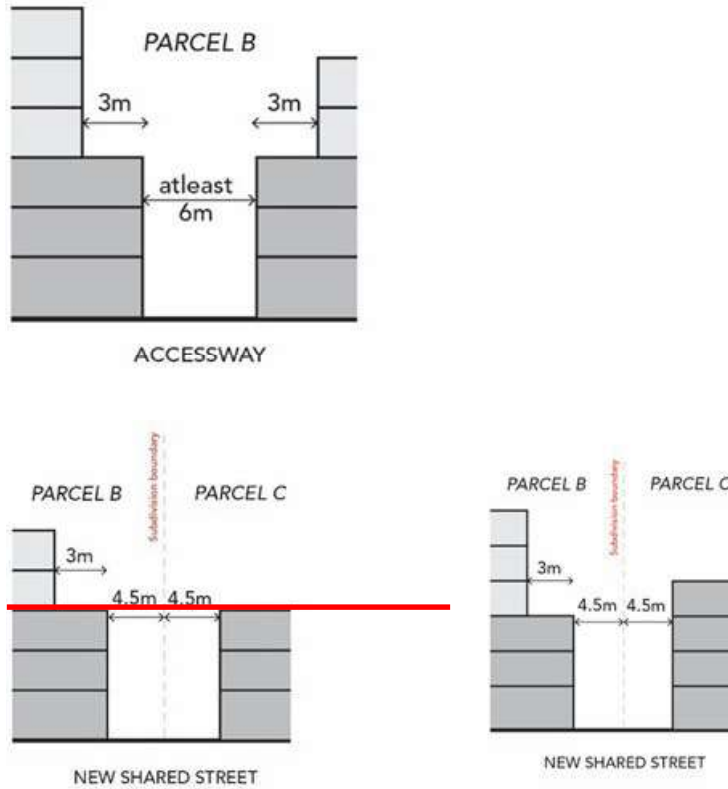
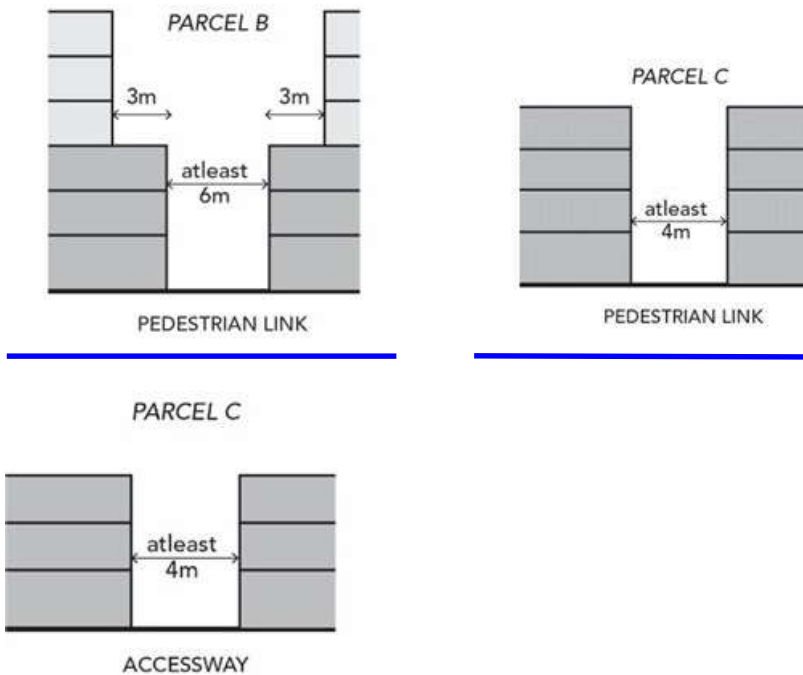


Figure 5: Setback to new pedestrian links **TO BE REPLACED**



Building Separation

Development should provide a minimum of 9 metres distance between towers above the preferred maximum street wall height. of 11 metres.

Building Design

~~Establish a low scale podium and reduce the visual prominence of the upper levels with setbacks as indicated in Table 1 and Figure 1, 2 and 4 for Parcel A and B.~~

Ensure that Parcel A presents as a distinctive landmark building of high architectural quality, providing a point of positive reference to South Geelong Station and further enhances the character, function, and appearance of the surrounding area, including the public realm.

Design buildings to address front, oblique and side views.

Mitigate the impact of visual bulk with well-articulated facades that include variation in forms, materials, openings, and recesses and building separation in upper levels.

Create visual interest in upper levels through the provision of balconies, eaves, terraces, and verandas ~~that are visually recessed from adjoining streets and laneways but~~ ensures passive surveillance of the public realm.

Avoid highly reflective glazing in the façade that diminishes the ability of the development to fit within the historic context.

Avoid blank walls visible from the public realm including where they abut a street or laneway. Include an interim façade strategy when blank walls are visually prominent while adjoining properties are being realised.

Introduce midblock pedestrian links connecting Lonsdale Street to Carr Street [generally in accordance with as indicated in](#) Map 3.

Ensure new pedestrian connections are safe (comply with Crime Prevention Through Environmental Design Guidelines), receive adequate access to sunlight and are open to the sky.

Development should meet the following minimum floor to floor dimensions:

- [4 metres at ground level](#)
- [3.2 - 3.5 metres for residential and non-residential uses in the levels above.](#)

Public Realm Interface

Provide opportunities for active surveillance of the public realm including plazas and where practical laneways and car parks. Avoid concealed alcoves and hidden entrances that affect perceived safety.

Maximise the usability and attractiveness of new public spaces by introducing ground floor uses that ensure interaction with the street and enhance the pedestrian environment.

Provide ground floor tenancy frontages that can accommodate a wide range of commercial and retail uses while maintaining the fine grain character of the area on Parcels A and B.

Avoid large signage and/or non-transparent glazing at ground level.

Provide separate residential and commercial entrances that are clearly legible from the street. Dwellings at the ground level should be provided with individual entrances from the footpath.

Create opportunities for landscaping, particularly along the existing and new pedestrian links, laneways and shared street.

Incorporate façade design and lighting that establishes a sense of safety and security after hours.

Provide active frontages to both sides of pedestrian connections through development where

possible.

Ensure direct, attractive, safe, and well-lit pedestrian and cycle access between main streets and South Geelong Station.

Overshadowing

Development should not overshadow the opposite footpath of adjoining streets (excluding Carr Street) between 10:00 am and 3:00 pm on 22 September.

Minimise the impact on solar access from new development to established residential areas, including balconies, terraces and habitable room windows.

Wind and weather protection for buildings 18m or taller

Ensure safe wind conditions as specified in Table 2 on public land, publicly accessible areas on private land, private open space and communal open space; and

Achieve comfortable wind conditions as specified in Table 2 on public land and publicly accessible areas on private land

Avoid the addition of protective screens and other incidental add-ons to offset excessive wind gust levels. Discourage landscaping within public spaces as a means to mitigate wind.

Incorporate continuous weather protection such as awnings, openings and architectural detail that promotes activity and visual interest. Ensure the soffit of awnings are well detailed and attractive when viewed from the street.

Ensure weather protection technique employed does not impinge existing or future street trees.

Table 2 to Schedule 50 to Clause 43.02

Wind condition	Requirement
Comfortable Safe wind conditions	Hourly mean wind speed or gust equivalent mean speed (3 second gust wind speed divided by 1.85), from all wind directions combined with probability of exceedance less than 20% of the time, equal to or less than: <ul style="list-style-type: none"> ▪ 3 metres per second for sitting areas, ▪ 4 metres per second for standing areas, ▪ 5 metres per second for walking areas.
Unsafe wind conditions	Annual maximum 3 second gust wind speed exceeding 20 metres per second with a probability of exceedance of 0.1% considering at least 16 wind directions.

Acoustic attenuation

Incorporate acoustic treatments to limit noise transmission from external noise sources such as trains, train station, Kardinia Park & Stadium, entertainment venues and public spaces to a level that is comfortable for ~~residential uses~~ all land uses sensitive to noise.

Incorporate noise attenuation measures and suppression techniques to ensure noise does not unreasonably affect the amenity of nearby land within a General Residential Zone and Residential Growth Zone.

A permit must contain conditions which give effect to the Acoustic Assessment Report, where the land has been identified as a lot that requires mitigation measures against noise impacts.

Sustainable Design

Provide green roofs where viable in accessible and serviceable locations and where visible from the public realm or within the development.

Ensure landscaping includes high-quality finishes, well-designed seating areas, lighting and places for diverse uses.

Access, Parking and Loading Areas

Provide an easily identifiable entrance and sense of arrival and safety through placing the primary pedestrian entrances to dwellings and tenancies on the street frontage.

Minimise the impact of vehicle access and car parking on the public realm by:

- [Incorporating streetscapes and building interfaces that encourage movement by means other than private car.](#)

Consolidating vehicular entries and locate vehicle access at the rear of buildings generally in accordance with Map 3. ~~Parcel A via Bellerine Street, and Parcel B and C via future shared street or existing laneway).~~

- Locating private car parking where it cannot be seen from the public realm. Designing basement or carparking garage entrance to have minimal visual impact.
- Designing basement or carparking garage entrance to have minimal visual impact.

Provide car parking within the basement, [within a consolidated carpark suitable for repurposing](#) or conceal it from the public realm if located within the podium by sleeving with active uses.

Support shared car parking arrangements across the site.

Design all above ground car parking areas to support adaptive reuse over time.

Support active transport through the supply of bicycle parking in both commercial and residential development and change facilities for commercial development.

Provide centralised loading areas for commercial uses across the site away from pedestrian priority areas.

Provide a central bin storage area for each development which is not visible from the street.

3.0

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Proposed C432ggee

Subdivision

A permit to subdivide land must meet the following requirements:

- Supports the partial closure and reconfiguration of Carr Street establishing land parcels generally in accordance with Map 1.

An application to subdivide land into lots each containing an existing dwelling or car parking space is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act.

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Proposed C432ggee

Signs

None specified

5.0

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Proposed C432ggee

Application requirements

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

An Urban Context Report and Design Response which:

- Responds to the urban context (including built form character of adjacent and nearby buildings, adjacent and nearby heritage places, and equitable outcomes for potential development on adjoining sites);

- Implements recommendations from the other technical reports required under the application requirements of this schedule;
- Responds to the design objectives and buildings and works requirements of this schedule; and
- Provides design excellence through providing sustainable, high quality architecture which articulates and minimises visual bulk, and landscape architecture and urban design enforcing liveability and activating the public realm.

An Environmentally Sustainable Design Management Plan (EMP) prepared by a suitably qualified environmental engineer or equivalent that demonstrates how the development provides for best practice environmentally sustainable design.

A wind report for buildings exceeding a height of 18 metres (5 storeys).

Any application for subdivision or development of land for Accommodation, Education Centre (other than Tertiary institution and Employment training centre) or Hospital, must be accompanied by an acoustic assessment report prepared by a qualified acoustic engineer or other suitably skilled person to the satisfaction of the responsible authority which:

- Applies the following noise objectives:
 - Not greater than 35 dB LAeq,8h when measured within a sleeping area between 10 pm and 6 am.
 - Not greater than 40 dB LAeq,16h when measured within a living area between 6 am and 10 pm.
 - For areas other than sleeping and living areas, not greater than the median value of the range of recommended designed sound levels of Australian Standard AS/NZ 2107:2016 (Acoustics – Recommended design sound level and reverberation times for building interiors).
- Noise levels should be assessed:
 - Considering the cumulative noise from all sources impacting on the proposal including road traffic noise and industry noise, as well as potential other potential noise sources; and
 - In unfurnished rooms with a finished floor and the windows closed and be based on average external noise levels measured as part of a noise level assessment.
- Addresses noise compatible design for buildings, with siting, orientation, and internal layout, to be considered prior to setting building envelope performance requirements.
- Addresses potential noise character (such as tonality, impulsiveness or intermittency) is addressed wherever relevant, including through the application of adjustments to the internal noise levels that are determined using the procedures to adjust industry noise levels of the Noise Protocol.

A Traffic Impact Assessment Report (TIAR), where relevant.

A Circulation and Movement Plan prepared by a suitably qualified person that demonstrates how the internal road hierarchy, pedestrian and cycling priority areas, and loading and building services achieve a legible and coherent structure improving the pedestrian connectivity and creating safe public spaces.

Plans, elevations, and section drawings for any car parking proposed at or above ground level to show finished floor levels and a statement by a suitably qualified engineer to demonstrate the capacity for this to be adapted to alternative uses.

A Landscape Plan detailing proposed hard and soft landscape elements, plant schedule, plant container details and maintenance and irrigation systems.

Scaled shadow diagrams to show existing and proposed shadows at hourly intervals between 10:00 am and 3:00 pm on 22 September, to demonstrate compliance with overshadowing requirements.

A three-dimensional perspective which shows the proposed development within the streetscape in the context of adjacent development.

Any application for development of land for a dwelling including a dwelling as part of a mixed-use development should provide an Affordable Housing Delivery Strategy to the satisfaction of the responsible authority which sets out:

- How affordable housing is to be delivered in accordance with social and affordable housing policy at Clause 16.01 of the Planning Scheme.
- The method of implementing the strategy, such as by an agreement under Section 173 of the Planning and Environment Act 1987.
- Locations for the affordable housing to be delivered.
- A summary of the range of housing types, densities and sizes.
- Staging requirements and ensuring that affordable housing is provided in a timely manner as development occurs.

6.0

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Proposed C432ggee

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the development appropriately responds to the design objectives and requirements ~~including building heights, street wall heights and setbacks~~ in this schedule.
- Whether the development or subdivision is generally in accordance with the maps included in this schedule
- Whether the subdivision of the site supports the partial closure and reconfiguration of Carr Street and ensures equitable development opportunities to all three sites.
- Whether the development employs an appropriate massing strategy that reduces visual bulk.
- Whether the development supports high-quality pedestrian amenity within the public realm, in relation to human scale and overshadowing.
- Whether the buildings adopt and enables a diversity of forms, typologies, and architectural language.
- Whether the application incorporates acoustic treatments to limit the impact from noise from [all current and potential noise generating sources such as](#) railway operation and future commercial activities.
- Whether the application includes an Affordable Housing Delivery Strategy to the satisfaction of the responsible authority.
- Whether the development incorporates ecologically sustainable design practices.
- Whether the proposal allows for open sightlines and high levels of passive surveillance by users and residents.
- Whether the development avoids:
 - Extensive blank walls along streets.
 - Buildings oriented towards internal spaces rather than streets.
 - Alcoves and recesses that may provide hiding places or that may collect dirt and litter
- Whether the development provides active street frontages including integration of required servicing into the façade away from key pedestrian spaces and public spaces, co-location of service cabinets internal to loading, waste or parking areas where possible.
- Whether the development supports a staged development of the site in a manner which effectively manages car parking demand and access, enhances pedestrian connections and public realm within and around the Station Hub.

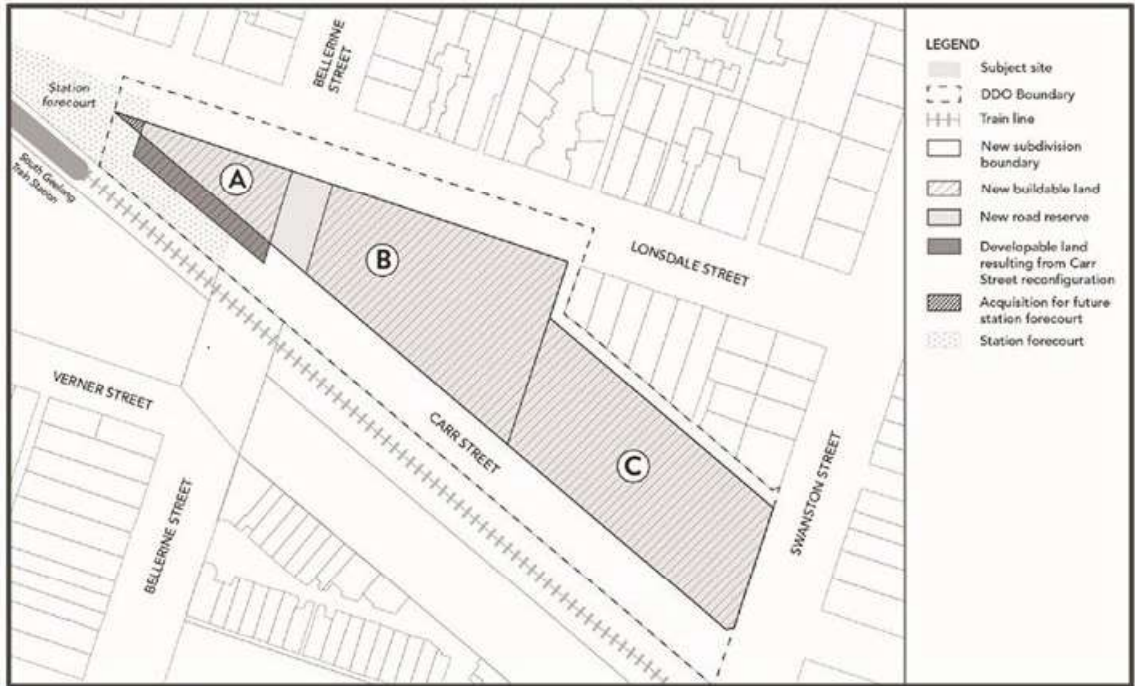
- Whether car parking demand can be appropriately managed.
- Whether the development achieves design excellence by providing high quality and innovative architecture, landscape architecture and urban design which demonstrates function, liveability, sustainability and public contribution to buildings and urban spaces.
- Whether the development achieves appropriate levels of residential density and is not an underdevelopment of the site.

Variations to preferred requirements

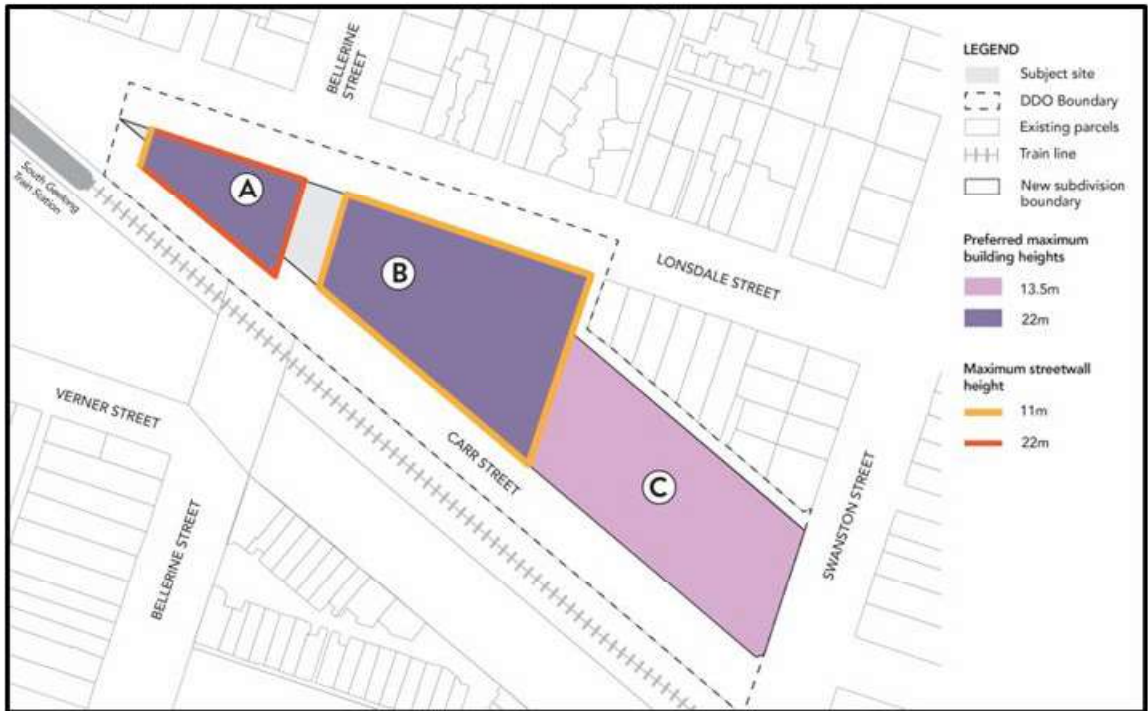
Where an application proposes to exceed, or vary a preferred requirement under a discretionary control contained within this schedule consider:

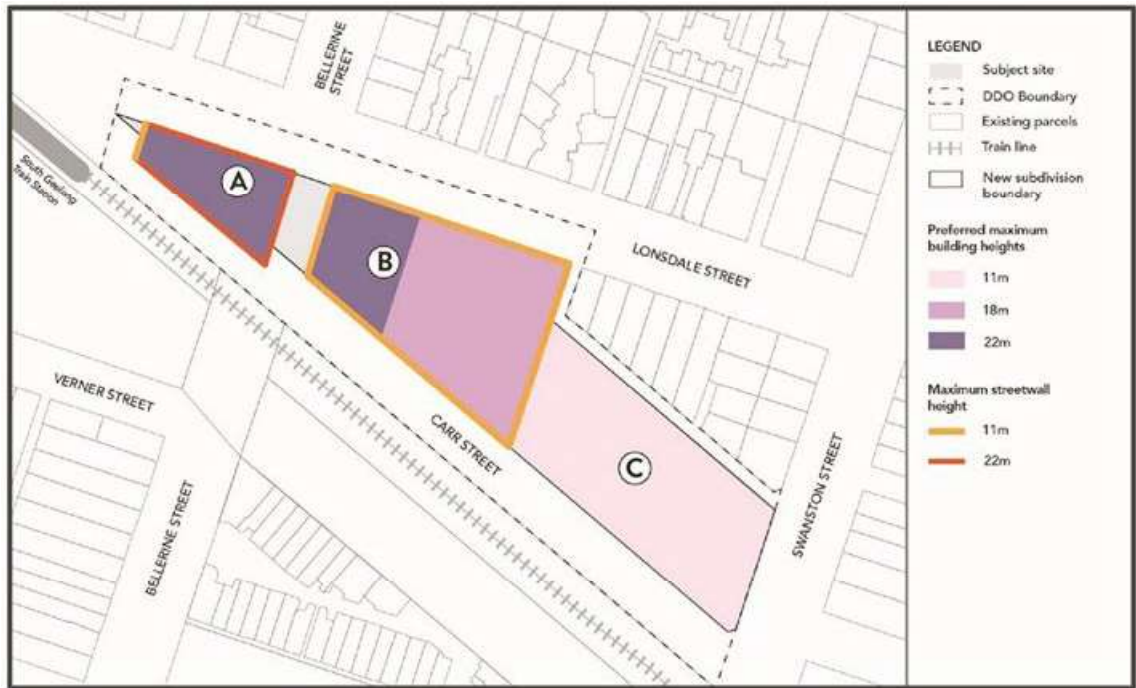
- Whether the design objectives have been met.
- Whether the street wall heights and upper level setbacks of development minimises the impact on the character and appearance of any Heritage Area opposite or adjacent to the site.
- Whether a variation to a requirement avoids or minimises adverse off-site impacts such as visual bulk, overlooking and overshadowing to adjacent residential properties and the public realm.
- Whether the proposal can enable a variation to a requirement without material adverse offsite impacts.
- Whether the proposal presents, or substantially facilitates an improved architectural outcome.
- Whether the proposal results in, or substantially facilitates, the delivery of appropriately secured public benefits including:
 - Provision of pedestrian links or public open space in excess of any minimum requirement in this Scheme

Map 1 to Schedule 50 to Clause 43.02



Map 2 to Schedule 50 to Clause 43.02 ~~TO BE REPLACED~~





Appendix G Panel preferred version of Schedule 54 to Clause 43.02 Design and Development Overlay

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Proposed C432ggee

SCHEDULE 54 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO54**

SOUTH GEELONG - MOORABOOL STREET KEY REDEVELOPMENT AREA

1.0

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Proposed C432ggee

Design objectives

To promote contemporary design and built form that demonstrates design excellence, enables a diverse mix of housing and commercial uses, and contributes to the distinctive boulevard character and greening of Moorabool Street.

To support lot consolidation to achieve [preferred](#) maximum building heights, desired scale and setbacks that also deliver high levels of internal amenity.

To ensure that development provides equitable development rights to adjoining sites and allows reasonable access to sunlight, daylight, outlook, and privacy to habitable spaces.

To ensure that development supports accessibility and ease of walking, cycling, and use of public transport, to, from and around the Moorabool Street area.

To protect the internal ~~residential~~ amenity [of all land uses sensitive to noise new buildings](#) by limiting noise transmission and provide acoustic measures to protect from [current and potential noise generating sources](#) ~~external noise sources~~ such as trains, commercial activities and public spaces

2.0

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Proposed C432ggee

Buildings and works

The following buildings and works requirements apply to an application to construct a building or construct or carry out works.

Exemption

[A permit is not required for buildings and works for a single storey structure or where the proposed buildings and works do not increase the existing floor area by more than 100 square metres.](#)

General Requirement

Consolidate sites where appropriate to maximise development potential while balancing equitable development opportunities on adjacent lots.

Building height

Development should not exceed the preferred maximum building heights as shown in Map 1 to this schedule.

The preferred maximum building height does not include architectural features, masts and building services including plant rooms, air conditioning, lift overruns, structures associated with roof top gardens, decks and communal outdoor spaces and their ancillary facilities or enclosed stairwells provided that the following criteria are met:

- Not more than 50% of the roof area is occupied by equipment (other than solar panel or greening).
- The equipment is located to minimise additional overshadowing and reduce visual impact.
- The equipment does not exceed the [preferred maximum](#) height limit by more than 3.6 metres; and
- The equipment and screening are integrated into the design of the building to the satisfaction of the responsibly authority.

Development should meet the following minimum floor to floor dimensions:

- 4 metres at ground level
- 2 - 3.5 metres for residential and non-residential uses in the levels above.

Interfaces

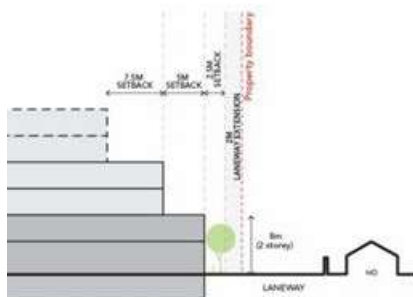
Development should not exceed the [preferred](#) maximum street wall heights specified in Map 1 and Table 1 to this schedule.

Development should provide a [preferred](#) 2 metre setback to boundaries adjoining laneways ~~as indicated in Figure 1 and 2~~ and should be generally in accordance with the preferred setbacks specified in Table 1 and Figures 1 to 64.

Table 1 to Schedule 54 of Clause 43.02

Interface Type	Preferred m Maximum street wall/ podium height	Preferred setback above street wall/ podium
Interface Type A	None.	None.
Interface Type B1	8 11 metres (2 3 storeys)	4 metres to Moorabool Street
Interface Type B2	8 11 metres (2 3 storeys)	3 metres to Lonsdale Street
Interface Type C1	11 metres (3 storeys)	4 metres to Moorabool Street, Verner Street, Foster Street. Park Crescent
Interface Type C2	11 metres (3 storeys)	3 metres to Moorabool Street, Baliang Street, Fyans Street
Interface Type L1 and L2	11 metres (3 storeys)	4.5 metres to Lambs Place

~~Figure 1: Laneway Interface Type L1 – To properties within Heritage Overlay~~



~~Figure 2: Laneway Interface Type L2 – To properties outside of Heritage Overlay~~

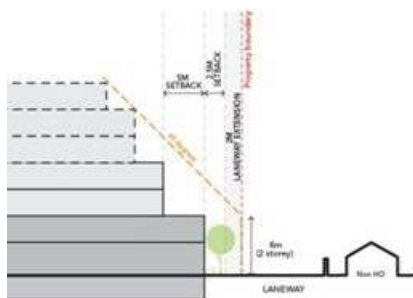


Figure 31: Interface to future pedestrian links

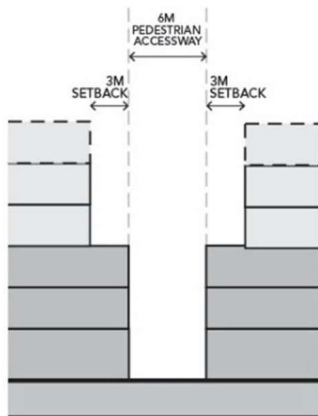


Figure 42: Interface to Sons of Temperance Hall

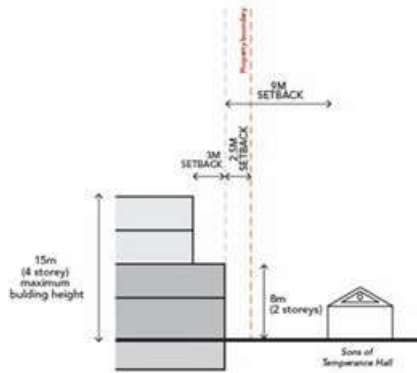


Figure 53: Interface to South Geelong Uniting Church (Moorabool Street)

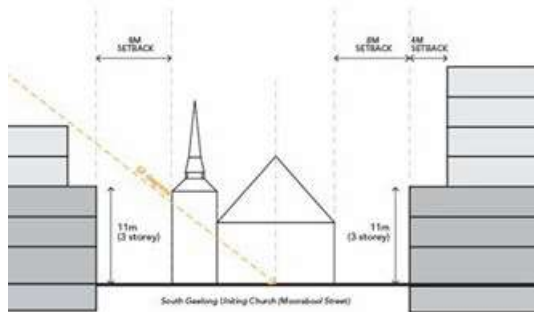
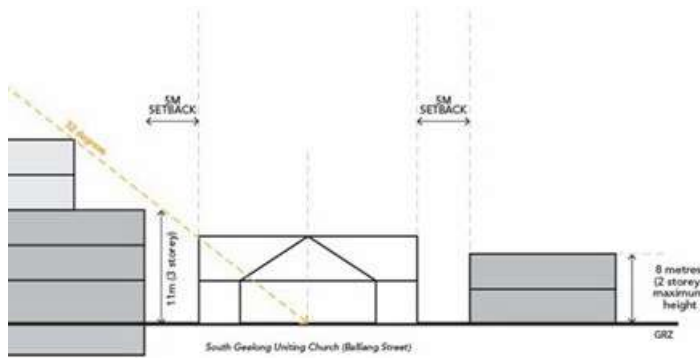


Figure 64: Interface to South Geelong Uniting Church (Balliang Street)



~~Development above the maximum street wall height of 11 metres or 3 storeys should be set back a minimum of 4.5 metres from boundaries unless a different setback is listed in Table 1.~~

Building Setbacks and Separation

All buildings should generally be built to side boundaries.

Development should provide a minimum of 9 metres distance between towers above the maximum street wall height of 11 metres or 3 storeys.

Building Design

Incorporate low scale podium and distinctive upper levels through variation in form, materiality, recesses, and openings with emphasis on ground floor detailing that achieves human scale with an active street experience.

Ensure that building design and setbacks at the podium level provide separation that assists to mitigate visual bulk and excessive screening to avoid overlooking.

Design buildings to address front, oblique and side views.

Achieve high quality design outcomes on corner sites that address both street frontages with door openings, windows and interesting soffit lighting and treatment at street level.

Create visual interest in upper levels through the provision of balconies, eaves, terraces, and verandas that ~~are visually recessed from adjoining streets and laneways but~~ ensures passive surveillance of the public realm.

Discourage primary aspect to side boundaries for residential dwellings.

Avoid extensive expanses of unbroken solid or reflective blank glass or blank walls visible to the public realm including where they abut a street or laneway. Include an interim façade strategy when blank walls are visually prominent while adjoining properties are being realised.

~~Consolidate rear setbacks to avoid 'wedding cake' profiles.~~

Create midblock pedestrian links connecting Moorabool Street to Lamb Place [generally](#) as indicated in Map 1.

Ensure new pedestrian links are safe (comply with Crime Prevention Through Environmental Design Guidelines), receive adequate access to sunlight and are open to the sky as indicated in Figure [3.1](#).

Ensure devices and privacy screens do not substantially reduce the potential for day lighting or outlook for residents.

Public Realm Interface

Ensure ground floor activity, façade and internal layout is designed to facilitate visual and physical access between the building and adjoining public realm, enhancing the pedestrian environment.

Retain and plant street trees along Moorabool Street to create a boulevard effect.

Avoid concealed alcoves, recessed nooks and hidden entrances that affect perceived safety.

Avoid large signage and/or non-transparent glazing at ground level.

Provide separate residential and commercial entrances that are clearly legible from the street. Dwellings at the ground level should be provided with individual entrances from the footpath.

Provide a high level of passive surveillance from upper levels of building [to future adjacent to](#) open space ~~including, rear laneways, public open space~~ and forecourts ~~and space~~ surrounding the former South Geelong Uniting Church including the former Methodist Hall at 451-471 Moorabool Street and 4-6 Balliang Street and the Sons of Temperance Hall at 441 Moorabool Street.

Incorporate façade design and lighting that establishes a sense of safety and security after hours including along main streets, side streets and laneways.

Provide sleeved active frontages along pedestrian connections where possible.

Overshadowing

~~Avoid~~ **Minimise** any overshadowing **to the secluded private open space of** dwellings to the rear of the Moorabool Street Key Development Area between 10 am and 2 pm on 22 September.

~~Avoid additional shadows over public open space between 10 am and 3 pm at the winter solstice.~~

Minimise additional overshadowing at the spring equinox to existing **and future** forecourts of the Former South Geelong Uniting Church including the former Methodist Hall at 451-471 Moorabool Street and 4-6 Balliang Street and Sons of Temperance Hall at 441 Moorabool Street as indicated in Figure **53** and **64** and should be designed to maximise solar access at the spring equinox to the new open space required through setbacks around these buildings.

~~Minimise the impact on solar access from new development to residential areas to the east of the site, communal and secluded open spaces within the development, including balconies, terraces and habitable room windows.~~

Wind and weather protection

Ensure safe wind conditions as specified in Table 2 on public land, publicly accessible areas on private land, private open space and communal open space.

Achieve comfortable wind conditions as specified in Table 2 in public land and publicly accessible areas on private land.

Avoid the addition of protective screens and other incidental add-ons to offset excessive wind gust levels.

Discourage the use of landscaping within public spaces to mitigate wind.

Table 2 to Schedule 54 to Clause 43.02

Wind condition	Requirement
Comfortable Safe wind conditions	Hourly mean wind speed or gust equivalent mean speed (3 second gust wind speed divided by 1.85), from all wind directions combined with probability of exceedance less than 20% of the time, equal to or less than: <ul style="list-style-type: none"> ▪ 3 metres per second for sitting areas, ▪ 4 metres per second for standing areas, ▪ 5 metres per second for walking areas.
Unsafe wind conditions	Annual maximum 3 second gust wind speed exceeding 20 metres per second with a probability of exceedance of 0.1% considering at least 16 wind directions.

Incorporate **along Moorabool Street** continuous weather protection such as awnings, openings and architectural detail that promotes activity and visual interest. Ensure the soffit of awnings are well detailed and attractive when viewed from the street.

Ensure weather protection technique employed does not impinge **upon** existing or future street trees.

Acoustic attenuation

Incorporate acoustic treatments to limit noise transmission from external noise sources such as trains, South Geelong train station, Kardinia Park and Stadium, entertainment venues and public spaces to a level that is comfortable for ~~residential uses~~ **all land uses sensitive to noise**.

Incorporate noise attenuation measures and suppression techniques to ensure noise does not unreasonably affect the amenity of nearby land within a residential zone.

A permit must contain conditions which give effect to the Acoustic Assessment Report, where the land has been identified as a lot that requires mitigation measures against noise impacts

Access, Parking and Loading Areas

Provide an easily identifiable entrance, sense of arrival and safety through placing the primary pedestrian entrances to dwellings and tenancies on the street frontage.

Minimise the impact of vehicle access and car parking on the public realm by:

- Providing vehicle access to side streets or rear laneways.
- Locating car parking where it cannot be seen from the public realm. Designing vehicular entrances to have minimal visual impact.
- Providing car parking within the basement or conceal it from the public realm if located within the podium by ~~sleeving~~ [encouraging](#) active use [frontages](#).

Avoid vehicular crossovers to Moorabool Street and Lonsdale Street.

Remove redundant crossovers from Moorabool Street.

~~Ensure the design of rear setbacks are as indicated in Figure 1 and 2 to facilitate the expansion of Lamb Place for vehicular access.~~

Design all above ground car parking areas to support adaptive reuse over time.

Support reduced or shared car parking amenities for ~~residential~~ development where possible.

Locate bin enclosures and other storage at the rear of buildings and screened from public view to ensure a tidy presentation of streets and laneways.

Sustainable Design

Integrate landscape design with building form and layout.

Provide green roofs in accessible, serviceable, and visible parts of the roof. Incorporate vertical gardens where possible.

Fencing

Discourage fencing on Moorabool Street [and Lambs Place](#).

Ensure a side or rear boundary fence does not exceed 1800 mm in height above ground level at any point and follows any change in level along the property boundary.

Discourage gates that open directly over a footpath or road.

Exemption from notice and review

An application to construct a building or construct or carry out works is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act. This exemption does not apply to land within 30 metres of land (not a road) which is in a residential zone, land used for a hospital or an education centre or land in a Public Acquisition Overlay to be acquired for a hospital or an education centre.

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Proposed C432ggee

Subdivision

Exemption from notice and review

An application to subdivide land is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review rights of section 82(1) of the Act. This exemption does not apply to land within 30 metres of land (not a road) which is in a residential zone, land used for a hospital or an education centre or land in a Public Acquisition Overlay to be acquired for a hospital or an education centre.

4.0

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Proposed C432ggee

Signs

None specified

5.0

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Proposed C432ggee

Application requirements

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

An Urban Context Report and Design Response which:

- Responds to the urban context (including built form character of adjacent and nearby buildings, adjacent and nearby heritage places, and equitable outcomes for potential development on adjoining sites).
- Implement recommendations from the other technical reports required under the application requirements of this schedule.
- Responds to the design objectives and buildings and works requirements of this schedule.
- Provides design excellence through providing sustainable, high quality architecture which articulates and minimises visual bulk, and landscape architecture and urban design enforcing liveability and activating the public realm.

An Environmentally Sustainable Design Management Plan (EMP) prepared by a suitably qualified environmental engineer or equivalent that demonstrates how the development provides for best practice environmentally sustainable design.

A Wind Report for buildings exceeding a height of 18 metres (5 storeys).

Any application for subdivision or development of land for Accommodation, Education Centre (other than Tertiary institution and Employment training centre) or Hospital, must be accompanied by an acoustic assessment report prepared by a qualified acoustic engineer or other suitably skilled person to the satisfaction of the responsible authority which:

- Applies the following noise objectives:
 - Not greater than 35 dB LAeq,8h when measured within a sleeping area between 10pm and 6am.
 - Not greater than 40 dB LAeq,16h when measured within a living area between 6am and 10pm.
 - For areas other than sleeping and living areas, not greater than the median value of the range of recommended designed sound levels of Australian Standard AS/NZ 2107:2016 (Acoustics – Recommended design sound level and reverberation times for building interiors).
- Noise levels should be assessed:
 - Considering the cumulative noise from all sources impacting on the proposal including road traffic noise and industry noise, as well as potential other potential noise sources; and
 - In unfurnished rooms with a finished floor and the windows closed and be based on average external noise levels measured as part of a noise level assessment.
- Addresses noise compatible design for buildings, with siting, orientation, and internal layout, to be considered prior to setting building envelope performance requirements.
- [Addresses potential noise character \(such as tonality, impulsiveness or intermittency\) is addressed wherever relevant, including through the application of adjustments to the internal noise levels that are determined using the procedures to adjust industry noise levels of the Noise Protocol.](#)

A Traffic Impact Assessment Report (TIAR), where relevant.

Plans, elevations, and section drawings for any car parking proposed at or above ground level to show finished floor levels and a statement by a suitably qualified engineer to demonstrate the capacity for this to be adapted to alternative uses.

A Landscape Plan detailing proposed hard and soft landscape elements, plant schedule, plant

container details and maintenance and irrigation systems.

Scaled shadow diagrams to show existing and proposed shadows at hourly intervals between 10:00 am and 3:00 pm on 22 September, to demonstrate compliance with overshadowing requirements.

Streetscape elevations showing the existing streetscape, and how the proposed development sits within the streetscape. A three-dimensional perspective which shows the proposed development within the streetscape in the context of adjacent development.

Any application for development of land for a dwelling including a dwelling as part of a mixed-use development should provide an Affordable Housing Delivery Strategy to the satisfaction of the responsible authority which sets out:

- How affordable housing is to be delivered in accordance with social and affordable housing policy at Clause 16.01 of the Planning Scheme.
- The method of implementing the strategy, such as by an agreement under Section 173 of the Planning and Environment Act 1987.
- Locations for the affordable housing to be delivered.
- A summary of the range of housing types, densities and sizes.
- Staging requirements and ensuring that affordable housing is provided in a timely manner as development occurs.

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Proposed C432ggee

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the development appropriately responds to the design objectives and requirements including building heights, streetwall heights and setbacks in this schedule.
- Whether the development delivers efficient built form outcomes that manages visual and internal amenity through site consolidation.
- Whether the development employs an appropriate massing strategy that reduces visual bulk particularly when viewed from the low scale surrounds.
- Whether the development supports high-quality pedestrian amenity within the public realm, in relation to human scale and overshadowing.
- Whether the application incorporates acoustic treatments to limit the impact from noise from [all current and potential noise generating sources such as](#) railway operations, [commercial activities](#) and activities at Kardinia Park and Stadium.
- Whether the application includes an Affordable Housing Delivery Strategy to the satisfaction of the responsible authority.
- Whether the development incorporates ecologically sustainable design practices.
- Whether the proposal allows for open sightlines and high levels of passive surveillance by users and residents.
- Whether the development avoids:
 - Extensive blank walls along streets.
 - Buildings oriented towards internal spaces rather than streets.
 - Alcoves and recesses that may provide hiding places or that may collect dirt and litter.
- Whether the development provides active street frontages including integration of required servicing into the façade away from key pedestrian and public spaces, co-location of service cabinets internal to loading, waste or parking areas where possible.

- Whether the development achieves design excellence by providing high quality and innovative architecture, landscape architecture and urban design which demonstrates function, liveability, sustainability and public contribution to buildings and urban spaces.
- Whether car parking demand can be appropriately managed.

Variations to preferred requirements

Where an application proposes to exceed, or vary a preferred requirement under a discretionary control contained within this schedule consider:

- Whether the design objectives have been met.
- Whether a variation to a requirement avoids or minimises adverse off-site impacts such as visual bulk, overlooking and overshadowing to adjacent residential properties and the public realm.
- Whether the proposal can enable a variation to a requirement without material adverse offsite impacts.
- Whether the proposal presents, or substantially facilitates an improved architectural outcome.
- Whether the proposal results in, or substantially facilitates, the delivery of appropriately secured public benefits such as the provision of pedestrian links or public open space in excess of any minimum requirement in this Scheme.

Map 1 to Schedule 54 to Clause 43.02

